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NOTE: CONTRACTOR AND TRADES TO REFER TO ENTIRE SET OF DRAWINGS AND SPECIFICATIONS FOR SCOPE OF WORK. DUE TO RENOVATION, NOTES AND DETAILS ARE NOTED THROUGHOUT THE SET.

# BANFF

CALGARY ALBERTA WEST STAKE

459 COUGAR STREET  
BANFF, ALBERTA

PARTIAL INTERIOR RENOVATION

THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS

**FACTION**  
ARCHITECTURE

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BID SET

AUGUST 2021

FACTION ARCHITECTURE INC. FILE NUMBER: 21105  
PROJECT NUMBER: 503-5511-2102-0101

SET NUMBER

NOTES:

FACTION ARCHITECTURE INC. PROJ. NO.: 21105

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NO.	DATE	DESCRIPTION

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PROJECT FOR:

**THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS**

PROJECT NAME:

**BANFF**

CALGARY ALBERTA  
WEST STAKE  
PARTIAL INTERIOR  
RENOVATION

PROJECT ADDRESS:

498 COUGAR STREET  
BANFF, ALBERTA

DRAWING DESCRIPTION:

**DEMOLITION  
FLOOR  
PLAN**

PROJECT DESIGNATION:  
503-5511-2102-0101

WORK ORDER NO.:

DRAWING NO.:

PROPERTY NO.:

503-5511

PROJECT TYPE.:

PLOT SCALE:

1/4"=1'-0"

DATE ISSUED:

AUGUST 2021

REVIEWED:

BY:

NJH

JNL

**GENERAL NOTES - DEMOLITION AND NEW CONSTRUCTION:**

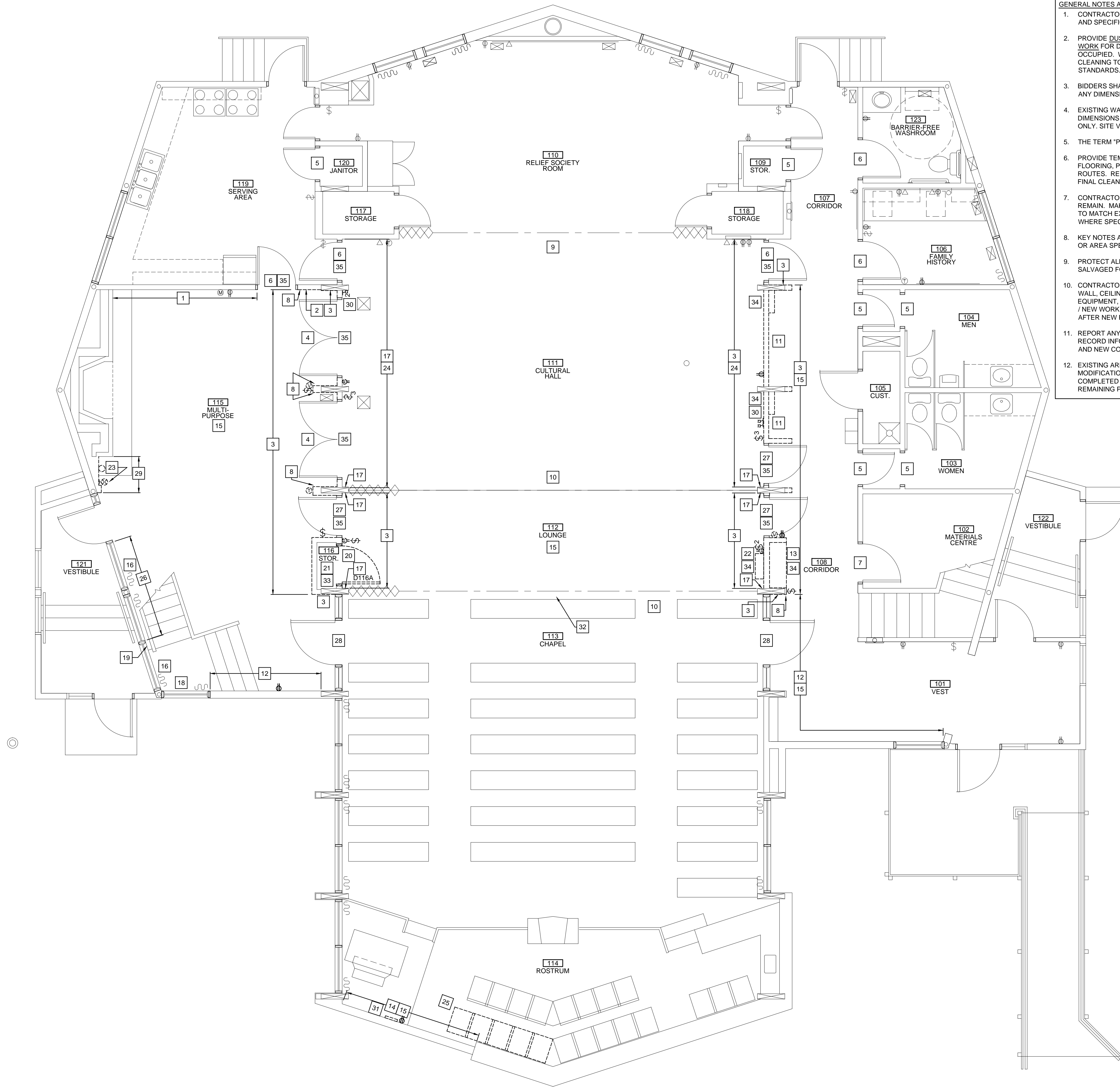
GENERAL NOTES APPLY TO ENTIRE DRAWING SET

- CONTRACTOR AND SUB-TRADES TO REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR TOTAL SCOPE OF WORK.
- PROVIDE DUST CONTROL AND DAILY CLEANING TO AREA OF WORK FOR DURATION OF PROJECT AS THE BUILDING WILL BE OCCUPIED. WHEN PROJECT IS COMPLETE, PROVIDE FINAL CLEANING TO AREAS OF WORK TO MEET EXISTING BUILDING STANDARDS.
- BIDDERS SHALL CONFIRM ALL CRITICAL DIMENSIONS ON SITE. ANY DIMENSIONS SHOWN ARE APPROXIMATE.
- EXISTING WALL ASSEMBLIES AND WALL COMPONENT DEPTHS, DIMENSIONS AND PROFILES AS DEPICTED ARE APPROXIMATE ONLY. SITE VERIFY ALL CONDITIONS.
- THE TERM "PROVIDE" SHALL MEAN "SUPPLY AND INSTALL".
- PROVIDE TEMPORARY CARPET FLOORING, AND WOOD FLOORING, PROTECTION AT WORK SCOPE AND TRADE TRAVEL ROUTES. REMOVE PROTECTION AT COMPLETION AS PART OF FINAL CLEANING.
- CONTRACTOR TO PROTECT ALL EXISTING FINISHES TO REMAIN. MAKE GOOD AND RESTORE ANY DAMAGED FINISHES TO MATCH EXISTING CONDITION. PREPARE FOR NEW FINISHES WHERE SPECIFIED AND NOTED.
- KEY NOTES APPLY TO ENTIRE ROOM UNLESS SHOWN AS WALL OR AREA SPECIFIC.
- PROTECT ALL ITEMS TO BE REMOVED AND REINSTALLED OR SALVAGED FOR RETURN TO OWNER.
- CONTRACTOR TO REMOVE, CLEAN AND REINSTALL EXISTING WALL, CEILING, AND FLOOR FIXTURES, DEVICES, OR EQUIPMENT. (INCLUDING COVER PLATES) TO SUIT DEMOLITION / NEW WORK. REINSTALL IN SAME LOCATION OR AS DETAILED AFTER NEW FINISHES ARE COMPLETE.
- REPORT ANY CONFLICTING DISCREPANCIES WITH EXISTING RECORD INFORMATION TO ARCHITECT PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
- EXISTING AREAS REQUIRING PARTIAL DEMOLITION OR MODIFICATION TO SUIT NEW WORK ARE TO BE REPAIRED AND COMPLETED TO PROVIDE A FINISHED APPEARANCE MATCHING REMAINING PORTION.
- DUE TO NEW FINISH ALTERATIONS, AS A RESULT OF NEW GYPSUM BOARD AND SISAL THICKNESSES, CONTRACTOR MAY NEED TO ADJUST / RE-POSITION / RE-SECURE EXISTING DEVICE AND DEVICE BOX DEPTHS AS REQUIRED. CONTRACTOR TO COORDINATE AND ALTER DEVICES, BOXES, AND WIRING / CABLE TO ENSURE FLUSH INSTALLATION WITH NEW FINISHES
- PROTECT EXISTING MECHANICAL R/A DUCT SYSTEM DURING DEMOLITION AND CONSTRUCTION TO AVOID DUST CONTAMINATION IN BUILDING. TAPE AND SEAL OFF ENDS OF RETURN AIR GRILLES, DOORS, DRAPES, AND WALL FURNITURE TO CONTAIN DUST ENVIRONMENT.
- CONTRACTOR TO REMOVE EXISTING WINDOW DRAPES, TRACK AND HARDWARE IN BRANCH PRES. OFFICE 202. SALVAGE FOR RE-INSTALLATION AFTER NEW FINISHES ARE COMPLETE. ALL OTHER DRAPES IN AREAS OF WORK TO BE PROTECTED IN PLACE. SEE INTERIOR ELEVATIONS.
- CONTRACTOR TO ENSURE NEW FINISHES ARE COMPATIBLE WITH EXISTING FINISHES (WOOD, DRYWALL AND METAL).
- INTENT IS TO MATCH THE EXISTING PAINT COLOURS. CONFIRM ON SITE / WITH OWNER.
  - WALL / HM FRAME COLOUR ASSUMED TO BE "BENJAMIN MOORE - NAVAJO WHITE"
  - CEILING COLOUR ASSUMED TO BE "CEILING WHITE"
- INTENT IS TO MATCH THE EXISTING WOOD STAIN COLOUR (ASSUMED TO BE SIMILAR TO "LDS 95"). CONFIRM ON SITE / WITH OWNER.
- ALL SISAL TO BE INSTALLED "RAILROAD" WITH NO SEAMS EXCEPT AT INSIDE CORNERS.
- PROVIDE SOLID BLOCKING IN WALLS AT ALL NEW WALL MOUNTED ACCESSORY LOCATIONS. SEE 8/A-6
- OWNER TO REMOVE AND REINSTALL ALL EXISTING ARTWORK / WALL FURNITURE, AS WELL AS LOOSE FURNITURE, TO SUIT DEMOLITION / NEW WORK.
- CONTRACTOR TO REMOVE EXISTING CARPET BASE IN AREA OF WORK AND SALVAGE FOR RE-USE.

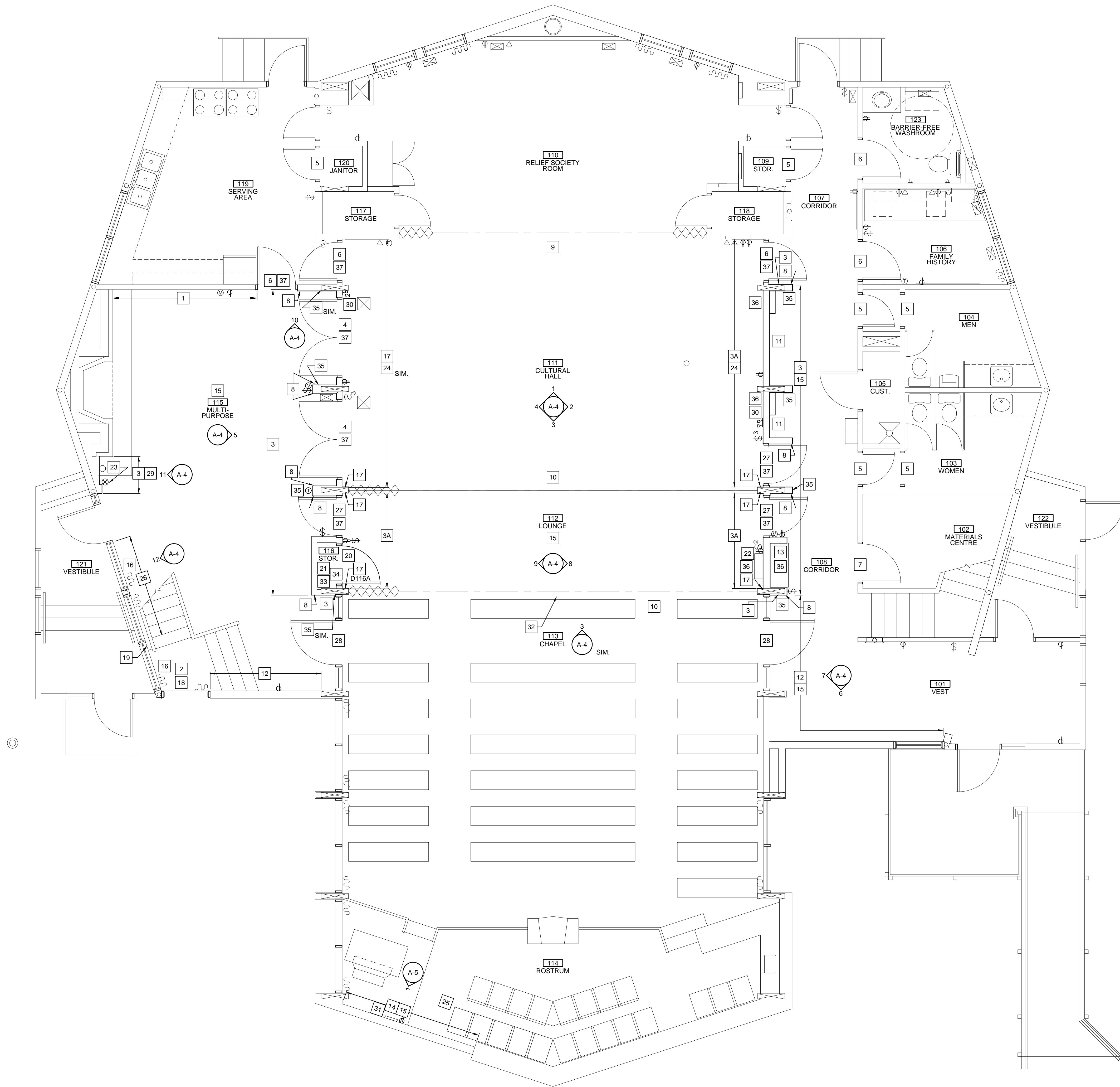
**DEMOLITION FLOOR PLAN KEY NOTES:**

KEY NOTES ARE TO BE READ IN CONJUNCTION WITH "GENERAL NOTES - DEMOLITION AND NEW CONSTRUCTION"

- EXISTING ±1/4" FINISHED ASH PLYWOOD PANELS ON EXISTING ± 5/8" POPLAR PLYWOOD TO REMAIN.
- REMOVE EXISTING ±1/4" FINISHED ASH PLYWOOD PANELS (AND EXISTING ±5/8" POPLAR PLYWOOD UNDER). PREPARE FOR NEW FINISHES.
- REMOVE EXISTING 1/4" CEDAR PANELING. AT LOCATIONS WHERE NO GYPSUM BOARD EXISTS UNDER PANELING, PREPARE FOR NEW GYPSUM BOARD AND NEW FINISHES.
- SAND / PREPARE EXISTING 72" (W) X 23" (H) STAINED WOOD TRANSOM ABOVE DOORS FOR A PAINTED FINISH (INCLUDING STAINED WOOD ASTRAGAL TRIM ON CULTURAL HALL 111 SIDE). REMOVE EXISTING HARDWARE AND SALVAGE FOR REINSTALLATION. (WHERE OCCURS).
- SAND/ PREPARE EXISTING 30" (W) X 24" (H) STAINED WOOD TRANSOM ABOVE FOR A PAINTED FINISH (BOTH SIDES AND UNDER). REMOVE EXISTING HARDWARE AND SALVAGE FOR REINSTALLATION. (WHERE OCCURS).
- SAND/ PREPARE EXISTING 36" (W) X 24" (H) STAINED WOOD TRANSOM ABOVE FOR A PAINTED FINISH (BOTH SIDES AND UNDER). REMOVE EXISTING HARDWARE AND SALVAGE FOR REINSTALLATION. (WHERE OCCURS).
- SAND/ PREPARE EXISTING 36" (W) X 22" (H) STAINED WOOD TRANSOM ABOVE FOR A PAINTED FINISH (BOTH SIDES AND UNDER). REMOVE EXISTING HARDWARE AND SALVAGE FOR REINSTALLATION. (WHERE OCCURS)
- REMOVE EXISTING FLOOR STOP. PREPARE TO INSTALL NEW WALL STOP.
- PREPARE EXISTING UPPER GABLE WALL (EXISTING ORANGE PEEL TEXTURE GYPSUM BOARD) TO RECEIVE NEW PAINTED FINISH.
- PREPARE EXISTING UPPER GABLE WALL (EXISTING SMOOTH FINISH GYPSUM BOARD) TO RECEIVE NEW PAINTED FINISH.
- REMOVE EXISTING COAT SHELF, ROD, HANGERS AND CHILDREN'S COAT HOOKS AND TRIM. SALVAGE FOR REINSTALLATION AFTER NEW FINISHES ARE COMPLETE.
- PREPARE EXISTING CEDAR PANELING FOR REFINISHING. EXISTING CEDAR PANELING ABOVE LIGHT VALANCE TO REMAIN (NO REFINISHING).
- REMOVE EXISTING CEDAR PANELING SURROUNDING EXISTING DUCT BUILD-OUT. PREPARE FOR FRAMING INFILL AND NEW FINISHES. SEE NEW FLOOR PLAN
- PREPARE EXISTING SMOOTH PAINTED GYPSUM BOARD WALL FOR NEW PAINTED FINISH.
- REMOVE EXISTING ±2 3/4" CARPET BASE TO SUIT DEMOLITION / NEW WORK. SALVAGE FOR REINSTALLATION.
- EXISTING DRAPES AND HARDWARE TO REMAIN. PROTECT IN PLACE FROM CONSTRUCTION DUST ETC.
- PREPARE EXISTING SMOOTH PAINTED GYPSUM WALL BOARD FOR NEW WALL FINISHES.
- EXISTING CEDAR PANELING BELOW WINDOW FRAME (AT/ ON TOP OF STAIR LANDING) TO REMAIN. PREPARE EXISTING CEDAR PANELING ABOVE WINDOW FRAME FOR REFINISHING.
- SMALL PORTION OF CEDAR PANELING BELOW STAIR TO REMAIN.
- REMOVE EXISTING CEDAR PANEL CLAD DOOR, AND WOOD DOOR FRAME AND PREPARE FOR NEW RATED DOOR AND HM FRAME. SALVAGE USABLE HARDWARE AND SIGNAGE TO OWNER.
- REMOVE EXISTING ADJUSTABLE SHELVES AND HARDWARE AND PREPARE FOR NEW. PROVIDE BLOCKING TO SUIT.
- REMOVE EXISTING HYMN BOOK CABINET AND SALVAGE FOR REINSTALLATION.
- REMOVE EXISTING FIRE EXTINGUISHER AND EXISTING EXIT SIGN ABOVE AND SALVAGE FOR REINSTALLATION.
- REMOVE EXISTING RUBBER BASE AND SALVAGE FOR REINSTALLATION.
- REMOVE EXISTING FLOOR MOUNTED OPERA CHAIRS AND SALVAGE FOR REINSTALLATION (AS REQUIRED FOR WORK ACCESS).
- REMOVE EXISTING CEDAR PANELING BELOW WINDOWS, UNDER THE STAIRS. PREPARE FOR NEW GYPSUM BOARD AND NEW FINISHES.
- SAND/ PREPARE TO RE-PAINT EXISTING 36" (W) X 24" (H) PAINTED TRANSOM ABOVE (BOTH SIDES AND UNDER). REMOVE EXISTING HARDWARE AND SALVAGE FOR REINSTALLATION. (WHERE OCCURS).
- SAND/ PREPARE TO RE-PAINT EXISTING 42" (W) X 24" (H) PAINTED TRANSOM ABOVE (BOTH SIDES AND UNDER). REMOVE EXISTING HARDWARE AND SALVAGE FOR REINSTALLATION. (WHERE OCCURS).
- REMOVE EXISTING 1/4" CEDAR PANELING, POLY VAPOUR BARRIER AND PAPER BACKED BATT INSULATION. PREPARE FOR NEW GYPSUM BOARD AND NEW FINISHES. SEE NEW FLOOR PLAN.
- REMOVE EXISTING WALL MOUNTED EMERGENCY REMOTE HEAD(S) TO SUIT NEW WALL FINISHES. MAINTAIN CONNECTION TO AVOID RE-VERIFICATION OF DEVICE.
- REMOVE EXISTING WALL MOUNTED WOOD HYMN BOARD AND SALVAGE FOR REINSTALLATION.
- MASK OFF/ PROTECT EXISTING SPEAKER GRILLE ON GABLE WALL ABOVE.
- REMOVE EXISTING INTERIOR GYPSUM BOARD AND PREPARE FOR NEW.
- REMOVE EXISTING HVAC GRILLE AND SALVAGE FOR REINSTALLATION.
- SAND, PRIME AND PREPARE EXISTING HM FRAME TO RECEIVE NEW PAINT. SEE SPECIFICATIONS.







**NEW FLOOR PLAN KEY NOTES:**

KEY NOTES ARE TO BE READ IN CONJUNCTION WITH "GENERAL NOTES - DEMOLITION AND NEW CONSTRUCTION" ON DWG. A-1

- 1 EXISTING ±1/4" ASH PLYWOOD PANELS OVER EXISTING ±5/8" POPLAR PLYWOOD TO REMAIN.
- 2 PROVIDE NEW ±2 3/4" CARPET BASE AT STAIR LANDING (TO MATCH EXISTING. SEE 11/A-6). (BY OWNER).
- 3 PROVIDE NEW ORANGE PEEL TEXTURE ABOVE NEW CHAIR RAIL (TO MATCH EXISTING) AND NEW SISAL WALL COVERING BELOW. (PROVIDE 5/8" GYPSUM BOARD WHERE REQUIRED ON EXISTING FRAMING).
- 3A PROVIDE NEW SISAL WALL COVERING - FULL HEIGHT. (PROVIDE 5/8" GYPSUM BOARD WHERE REQUIRED ON EXISTING FRAMING).
- 4 PRIME AND PAINT EXISTING 72" (W) X 23" (H) STAINED WOOD TRANSOM ABOVE DOORS (INCLUDING STAINED WOOD ASTRAGAL TRIM ON CULTURAL HALL 111 SIDE) (BOTH SIDES AND UNDER). CLEAN AND REINSTALL EXISTING HARDWARE (WHERE OCCURS).
- 5 PRIME AND PAINT EXISTING 30" (W) X 24" (H) STAINED WOOD TRANSOM ABOVE (BOTH SIDES AND UNDER). CLEAN AND REINSTALL EXISTING HARDWARE (WHERE OCCURS).
- 6 PRIME AND PAINT EXISTING 36" (W) X 24" (H) STAINED WOOD TRANSOM ABOVE (BOTH SIDES AND UNDER). CLEAN AND REINSTALL EXISTING HARDWARE (WHERE OCCURS).
- 7 PRIME AND PAINT EXISTING 36" (W) X 22" (H) STAINED WOOD TRANSOM ABOVE (BOTH SIDES AND UNDER). CLEAN AND REINSTALL EXISTING HARDWARE (WHERE OCCURS).
- 8 PROVIDE NEW WALL STOP WITH WOOD SPACER. SEE 6/A-6
- 9 PRIME AND PAINT EXISTING UPPER GABLE WALL (EXISTING ORANGE PEEL TEXTURE GYPSUM BOARD).
- 10 PRIME AND PAINT EXISTING UPPER GABLE WALL (EXISTING SMOOTH FINISH GYPSUM BOARD).
- 11 CLEAN AND REINSTALL EXISTING COAT SHELF, ROD, HANGERS AND CHILDREN'S COAT HOOKS AND TRIM AFTER NEW FINISHES ARE COMPLETE. SEE 7/A-6.
- 12 CONTRACTOR TO PROVIDE A VERY LIGHT SANDING, OR EXTRA FINE STEEL WOOL RUBBING, TO EXISTING CEDAR PANELING (INCLUDING GROOVES) WIPE CLEAN, THEN PROVIDE A CLEAR VARATHANE SATIN COAT TO EXTENTS. REPEAT SANDING, CLEANING AND THEN APPLY A SECOND COAT TO EXTENTS. SEE 17 AND 18/A-6 FOR PROFILE OF PANELING EXISTING CEDAR PANELING ABOVE LIGHT VALENCE TO REMAIN (NO RE-FINISHING).
- 13 PROVIDE NEW 2X FRAMED INFILL AND NEW SOLID SURFACE COUNTERTOP ABOVE EXISTING DUCT BUILD-OUT. SEE 1/A-6.
- 14 PRIME AND PAINT EXISTING SMOOTH PAINTED GYPSUM BOARD.
- 15 REINSTALL EXISTING ±2 3/4" CARPET BASE AFTER FINISHES ARE COMPLETE.
- 16 EXISTING DRAPES AND HARDWARE TO REMAIN. PROTECT IN PLACE FROM CONSTRUCTION DUST ETC.
- 17 PROVIDE NEW SISAL WALL COVERING ON EXISTING GYPSUM WALL BOARD.
- 18 EXISTING CEDAR PANELING BELOW WINDOW FRAME (AT) ON TOP OF STAIR LANDING) TO REMAIN. SEE KEYNOTE 12 FOR ABOVE WINDOW LOCATION.
- 19 SMALL PORTION OF CEDAR PANELING BELOW STAIR TO REMAIN.
- 20 PROVIDE NEW PAINTED HM DOOR FRAME (W/ NEW SMOKE SEALS) AND NEW 3'-0"x7'-0" RATED WOOD DOOR (TO MATCH EXISTING ADJACENT). SEE 2 AND 3/A-6.
- 21 INSTALL NEW ADJUSTABLE SHELVES AND HARDWARE. SEE 12/AA-6.
- 22 REINSTALL EXISTING HYMN BOOK CABINET AFTER FINISHES ARE COMPLETE.
- 23 REINSTALL EXISTING FIRE EXTINGUISHER AFTER NEW FINISHES ARE COMPLETE. PROVIDE BLOCKING TO SUIT. CLEAN AND REINSTALL EXISTING EXIT SIGN ABOVE.
- 24 REINSTALL EXISTING RUBBER BASE. PROVIDE 2X6 BLOCKING AS REQUIRED. SEE 10/A-6.
- 25 REINSTALL EXISTING FLOOR MOUNTED OPERA CHAIRS AFTER FINISHES ARE COMPLETE.
- 26 PROVIDE NEW 5/8" GYPSUM BOARD AND SISAL WALL COVERING BELOW WINDOWS, UNDER THE STAIRS.
- 27 PRIME AND PAINT EXISTING 36" (W) X 24" (H) PAINTED TRANSOM ABOVE (BOTH SIDES AND UNDER). CLEAN AND REINSTALL EXISTING HARDWARE (WHERE OCCURS).
- 28 PRIME AND PAINT EXISTING 42" (W) X 24" (H) PAINTED TRANSOM ABOVE (BOTH SIDES AND UNDER). CLEAN AND REINSTALL EXISTING HARDWARE (WHERE OCCURS).
- 29 PROVIDE NEW BATT INSULATION, NEW 6 MIL POLY VAPOUR BARRIER, NEW 5/8" GYPSUM BOARD, AND NEW FINISHES. SEE 5/A-6.
- 30 CLEAN AND REINSTALL EXISTING WALL MOUNTED EMERGENCY REMOTE HEAD(S). MAINTAIN CONNECTION TO AVOID RE-VERIFICATION OF DEVICE.
- 31 CLEAN AND REINSTALL EXISTING WALL MOUNTED WOOD HYMN BOARD.
- 32 MASK OFF/ PROTECT EXISTING SPEAKER GRILLE ON GABLE WALL ABOVE.
- 33 PROVIDE NEW 5/8" GYPSUM BOARD AND SMOOTH PAINTED FINISH.
- 34 PROVIDE NEW ±2 3/4" CARPET BASE TO MATCH EXISTING. SEE 11/A-6. (BY OWNER).
- 35 WHEN INSTALLING NEW GYPSUM BOARD AT EXISTING COLUMN LOCATIONS ENSURE FLUSH FINISH. PROVIDE PLYWOOD / SHIMS AS REQUIRED. SEE 4/A-6.
- 36 CLEAN AND REINSTALL EXISTING HVAC GRILLE AFTER NEW FINISHES ARE COMPLETE.
- 37 SAND, PRIME AND RE-PAINT EXISTING HM DOOR FRAME (ENTIRE FRAME/ BOTH SIDES). MASK OFF HARDWARE AS REQUIRED. PROVIDE PAINTABLE CAULKING FROM FRAME TO GYPSUM BOARD FINISH.

**DOOR SCHEDULE:**

- D116A PROVIDE NEW 1 HR HM FRAME (3'-0" x 7'-0" x 2")  
 PROVIDE NEW 45 MIN WOOD DOOR (3'-0" x 7'-0" x 1 3/4")  
 PROVIDE:  
 1 SET: SMOKE GASKETS  
 3 EACH: HINGES  
 1 EACH: PASSAGE SET  
 1 EACH: STOP  
 1 EACH: CLOSER (PARALLEL ARM MOUNT)  
 1 EACH: DROP SHOE COORDINATOR FOR O/H STOP

**DOOR / FRAME NOTES:**

1. NEW DOORS TO BE SET TO CLEAR FINISHED FLOOR SURFACE BY 1/4".
2. SEE PLANS FOR RE-PAINTING OF EXISTING FRAMES.
3. SEE 9/A-6 FOR DOOR SEAL INSTALLATION. CLEAN FRAMES PRIOR TO INSTALL.
4. NEW DOORS TO BE FIELD FINISHED TO MATCH EXISTING STAIN.

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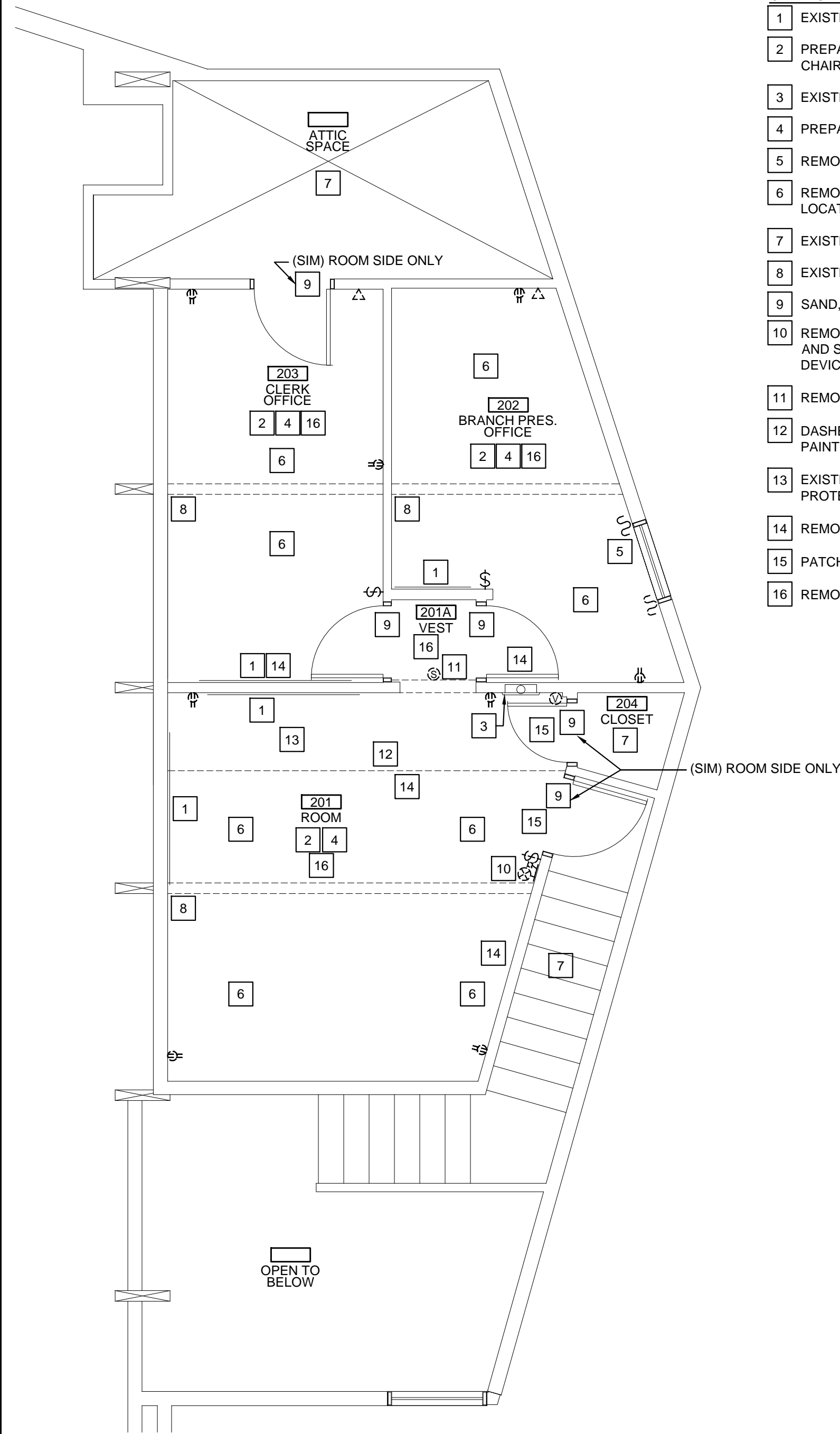




**DEMOLITION FLOOR PLAN KEY NOTES:**

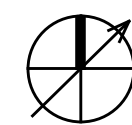
KEY NOTES ARE TO BE READ IN CONJUNCTION WITH "GENERAL NOTES - DEMOLITION AND NEW CONSTRUCTION" ON DWG. A-1

- 1 EXISTING CHALK BOARD / TACKBOARD TO REMAIN. PROTECT IN PLACE.
- 2 PREPARE EXISTING SMOOTH PAINTED GYPSUM BOARD WALLS FOR NEW PAINT (ABOVE AND BELOW EXISTING CHAIR RAIL).
- 3 EXISTING FIRE EXTINGUISHER CABINET TO REMAIN. PROTECT IN PLACE.
- 4 PREPARE EXISTING SMOOTH PAINTED GYPSUM BOARD CEILING FOR NEW PAINT.
- 5 REMOVE EXISTING DRAPES, TRACK, AND HARDWARE. SALVAGE FOR REINSTALLATION.
- 6 REMOVE EXISTING 1'-0"x4'-0" CEILING MOUNTED LIGHT FIXTURE (NOT SHOWN, VERIFY ON SITE EXACT LOCATION). SALVAGE FOR REINSTALLATION AFTER FINISHES ARE COMPLETE.
- 7 EXISTING FINISHES TO REMAIN.
- 8 EXISTING EXPOSED WOOD BEAM AT CEILING TO REMAIN. PROTECT IN PLACE.
- 9 SAND, PRIME AND PREPARE EXISTING HM FRAME TO RECEIVE NEW PAINT. SEE SPECIFICATIONS.
- 10 REMOVE EXISTING WALL MOUNTED EXIT SIGN ABOVE (INCLUDING WALL MOUNTED EMERGENCY REMOTE HEAD) AND SALVAGE FOR REINSTALLATION. MAINTAIN CONNECTION OF EM LIGHT TO AVOID RE-VERIFICATION OF DEVICE.
- 11 REMOVE EXISTING WALL MOUNTED SPEAKER CAN TRIM AND SALVAGE FOR REINSTALLATION
- 12 DASHED LINE INDICATES OUTLINE OF EXISTING GYPSUM BOARD CEILING BULKHEAD. PREPARE FOR NEW PAINTED FINISH TO MATCH CEILING.
- 13 EXISTING CEILING MOUNTED W.A.P ABOVE TO REMAIN (NOT SHOWN, VERIFY ON SITE EXACT LOCATION). PROTECT IN PLACE.
- 14 REMOVE EXISTING HVAC GRILLE AND SALVAGE FOR REINSTALLATION.
- 15 PATCH GYPSUM BOARD DAMAGES ABOVE FRAME AS PART OF WALL PREPARATIONS.
- 16 REMOVE EXISTING CARPET BASE AND SALVAGE FOR REINSTALLATION.



**1 | DEMOLITION FLOOR PLAN**

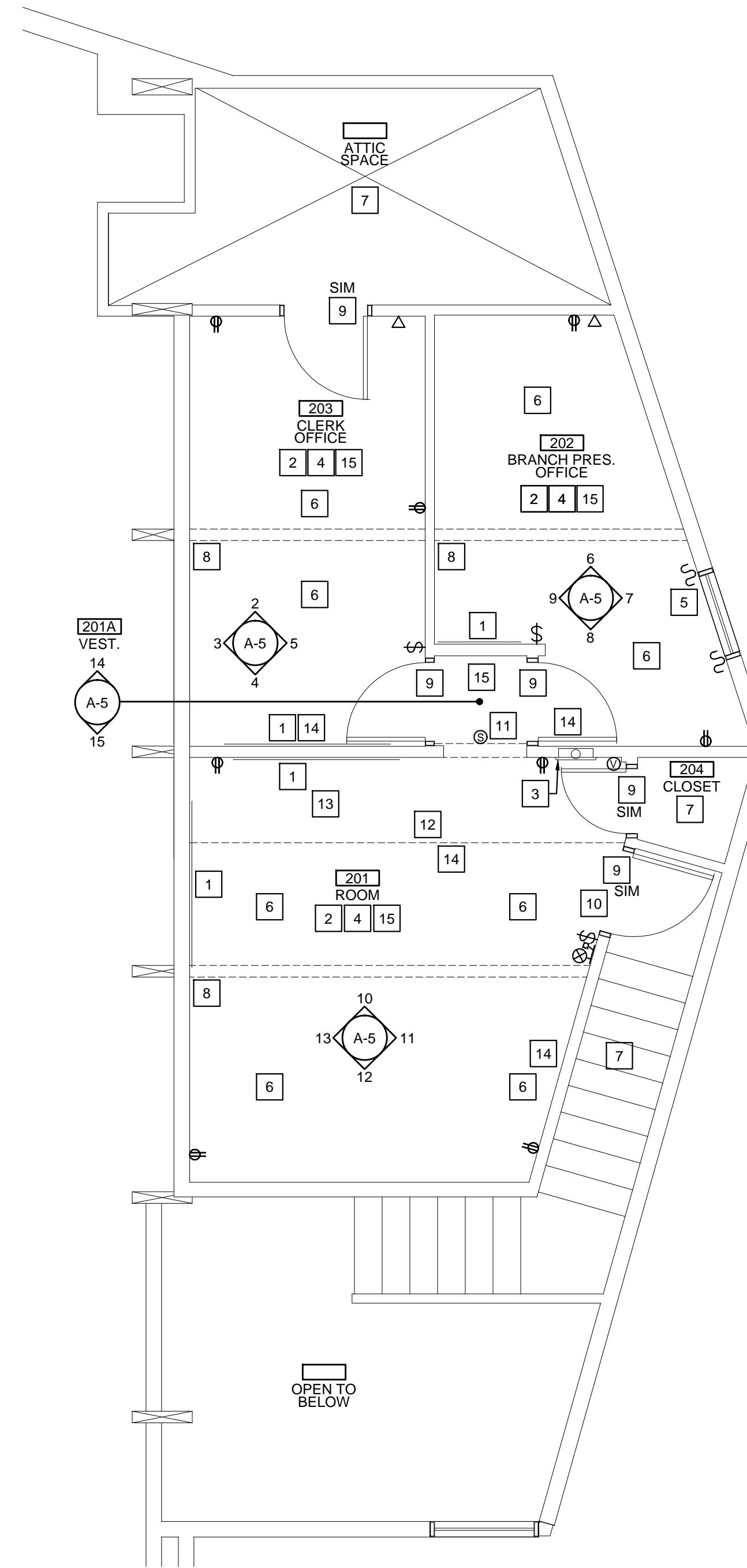
A-3 1/4"=1'-0"



**NEW FLOOR PLAN KEY NOTES:**

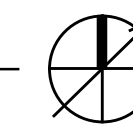
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- 1 EXISTING CHALK BOARD / TACKBOARD TO REMAIN. PROTECT IN PLACE.
- 2 PRIME AND PAINT EXISTING SMOOTH PAINTED GYPSUM BOARD (ABOVE AND BELOW EXISTING CHAIR RAIL).
- 3 EXISTING FIRE EXTINGUISHER CABINET TO REMAIN. PROVIDE PAINTABLE SEALANT AROUND CABINET.
- 4 PRIME AND PAINT EXISTING SMOOTH PAINTED GYPSUM BOARD CEILING.
- 5 CLEAN AND REINSTALL EXISTING DRAPERY TRACK, AND HARDWARE. REINSTALL EXISTING DRAPES.
- 6 CLEAN AND REINSTALL EXISTING 1'-0"x4'-0" CEILING MOUNTED LIGHT FIXTURE (NOT SHOWN, VERIFY ON SITE EXACT LOCATION).
- 7 EXISTING FINISHES TO REMAIN.
- 8 EXISTING EXPOSED WOOD BEAM AT CEILING TO REMAIN. PROTECT IN PLACE.
- 9 SAND, PRIME AND RE-PAINT EXISTING HM DOOR FRAME (ENTIRE FRAME/ BOTH SIDES). MASK OFF HARDWARE AS REQUIRED. PROVIDE PAINTABLE CAULKING FROM FRAME TO GYPSUM BOARD FINISH.
- 10 CLEAN AND REINSTALL EXISTING WALL MOUNTED EXIT SIGN (INCLUDING EMERGENCY REMOTE HEAD). MAINTAIN CONNECTION OF EM LIGHT TO AVOID RE-VERIFICATION OF DEVICE.
- 11 REINSTALL EXISTING WALL MOUNTED SPEAKER CAN TRIM AFTER FINISHES ARE COMPLETE.
- 12 DASHED LINE INDICATES OUTLINE OF EXISTING GYPSUM BOARD CEILING BULKHEAD. PRIME AND PAINT TO MATCH CEILING.
- 13 EXISTING CEILING MOUNTED W.A.P ABOVE TO REMAIN (NOT SHOWN, VERIFY ON SITE EXACT LOCATION). PROTECT IN PLACE.
- 14 CLEAN AND REINSTALL HVAC GRILLE AFTER NEW FINISHES ARE COMPLETE.
- 15 REINSTALL EXISTING CARPET BASE AFTER NEW FINISHES ARE COMPLETE.



**2 | NEW FLOOR PLAN**

A-3 1/4"=1'-0"



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**A-3**



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499 COUGAR STREET  
BANFF, ALBERTA

DRAWING DESCRIPTION:

**INTERIOR  
ELEVATIONS**

PROJECT DESIGNATION:

503-5511-2102-0101

WORK ORDER NO.:

DRAWING NO.:

PROPERTY NO.:

503-5511

PROJECT TYPE.:

PLOT SCALE:

1/4"=1'-0"

DATE ISSUED:

AUGUST 2021

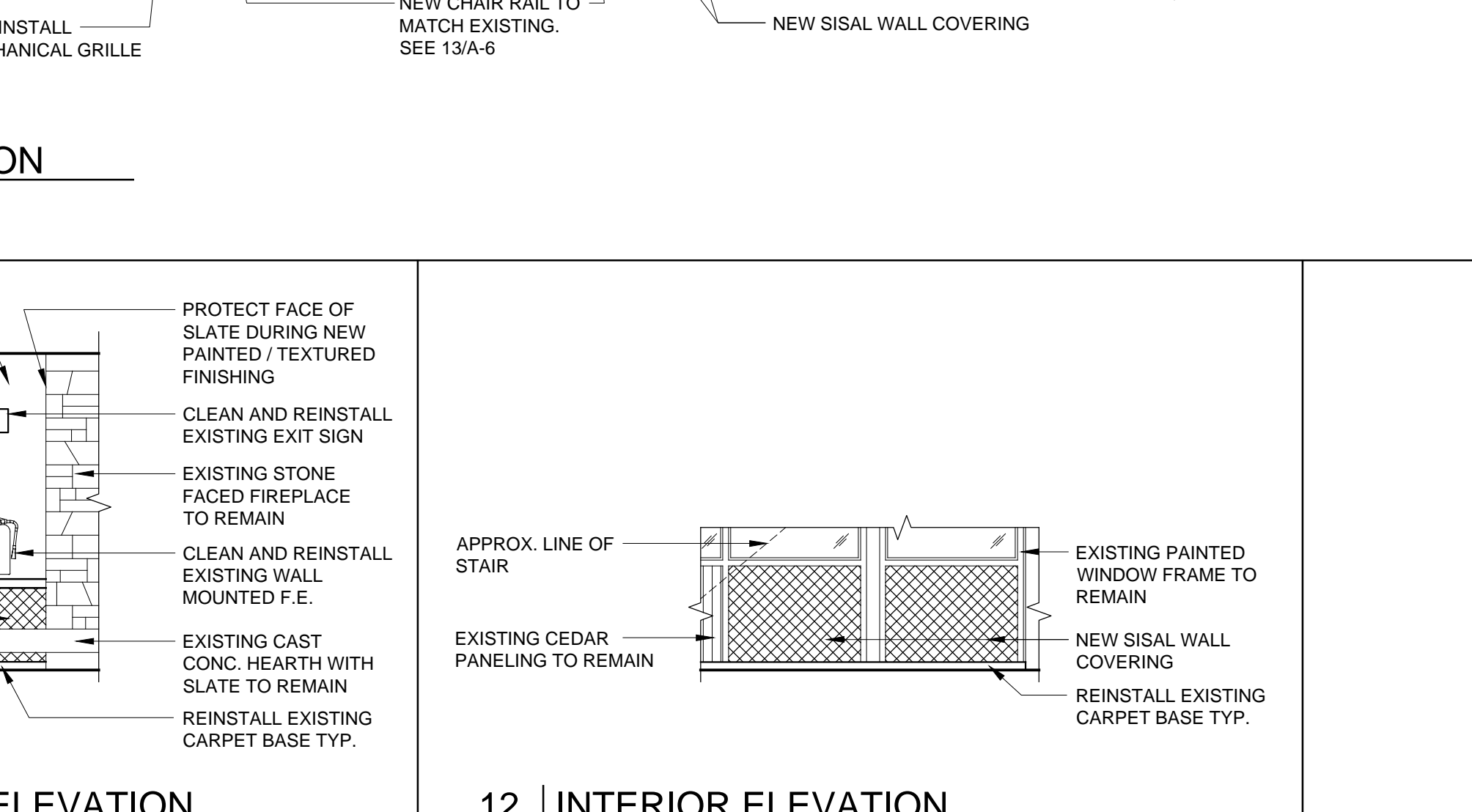
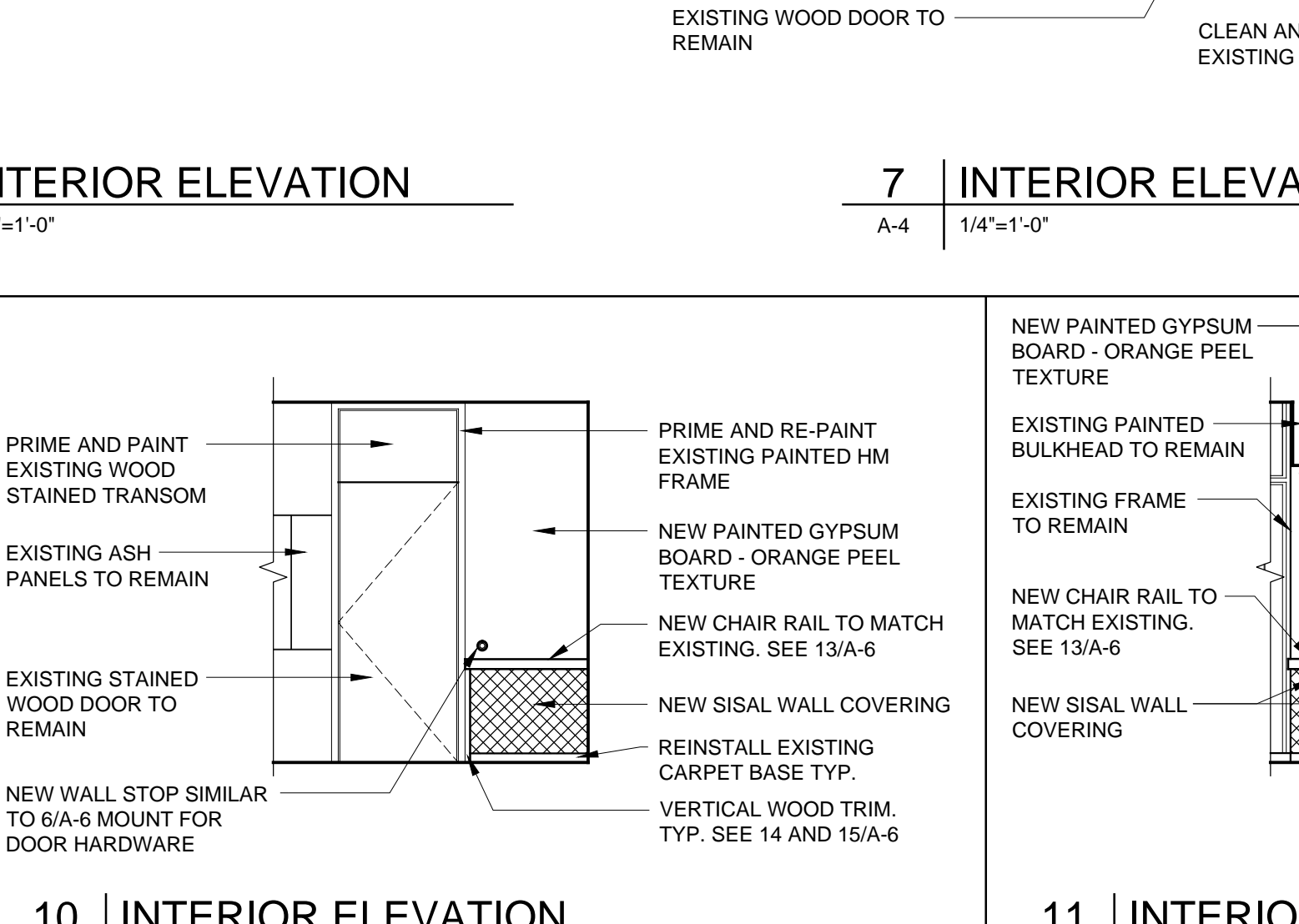
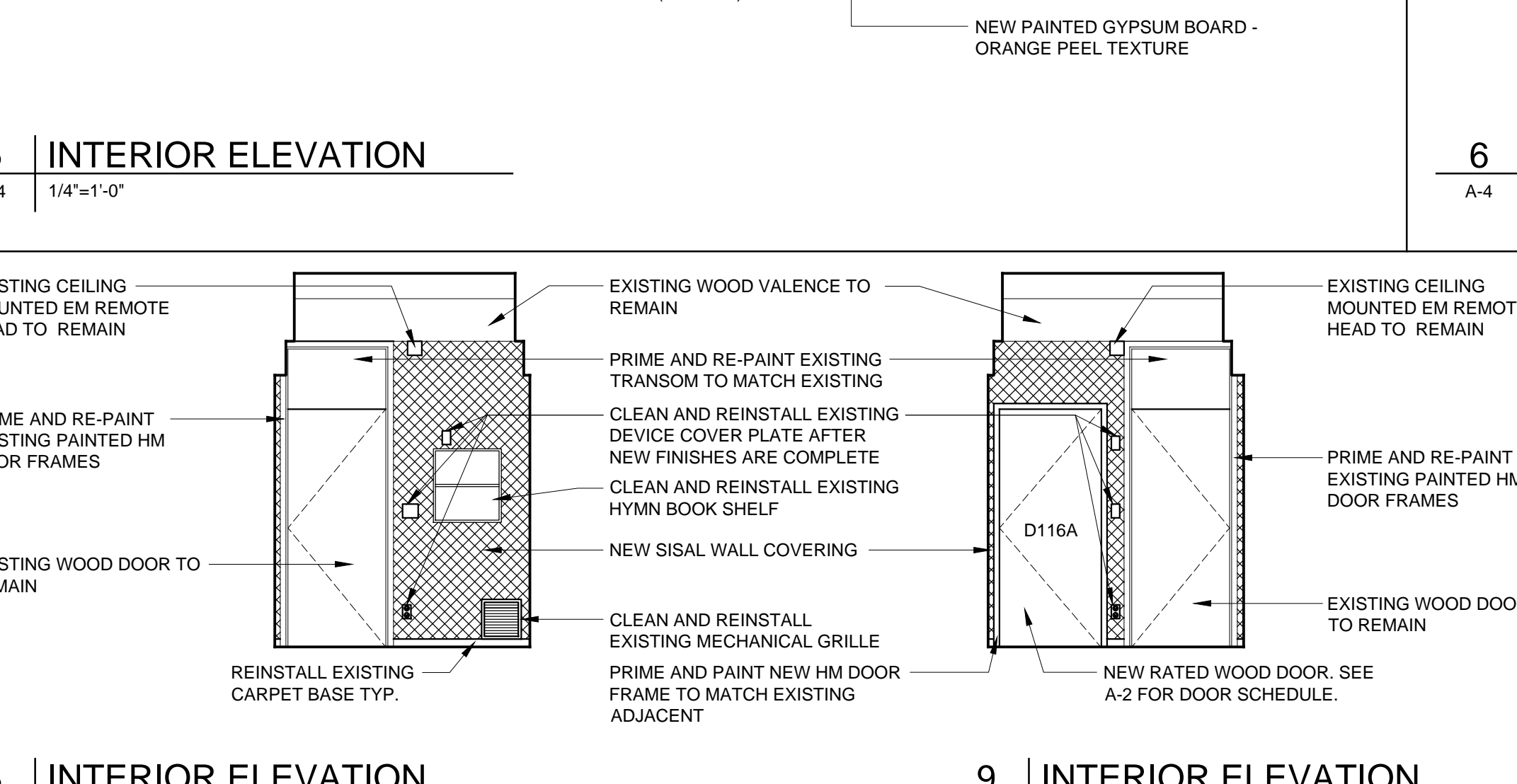
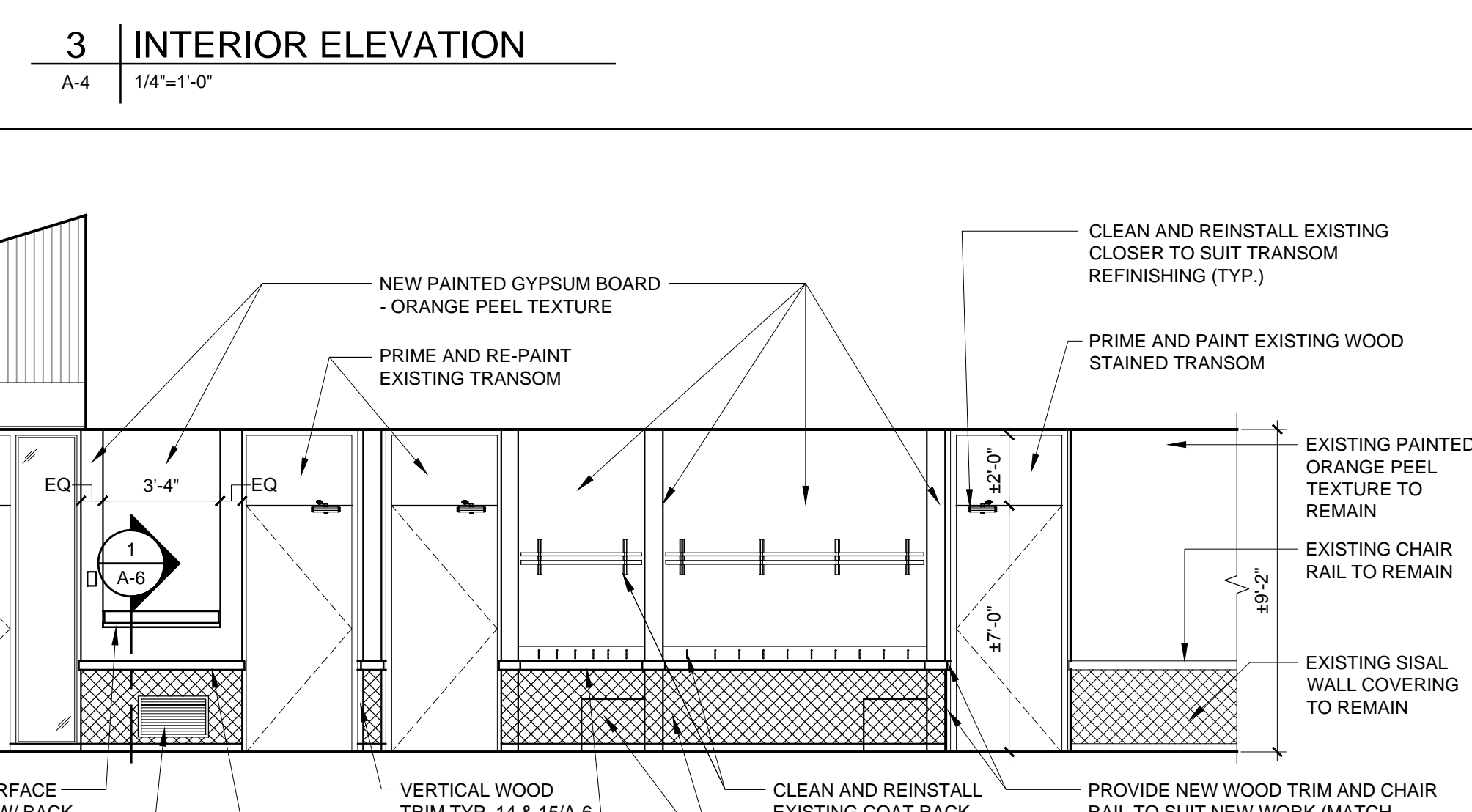
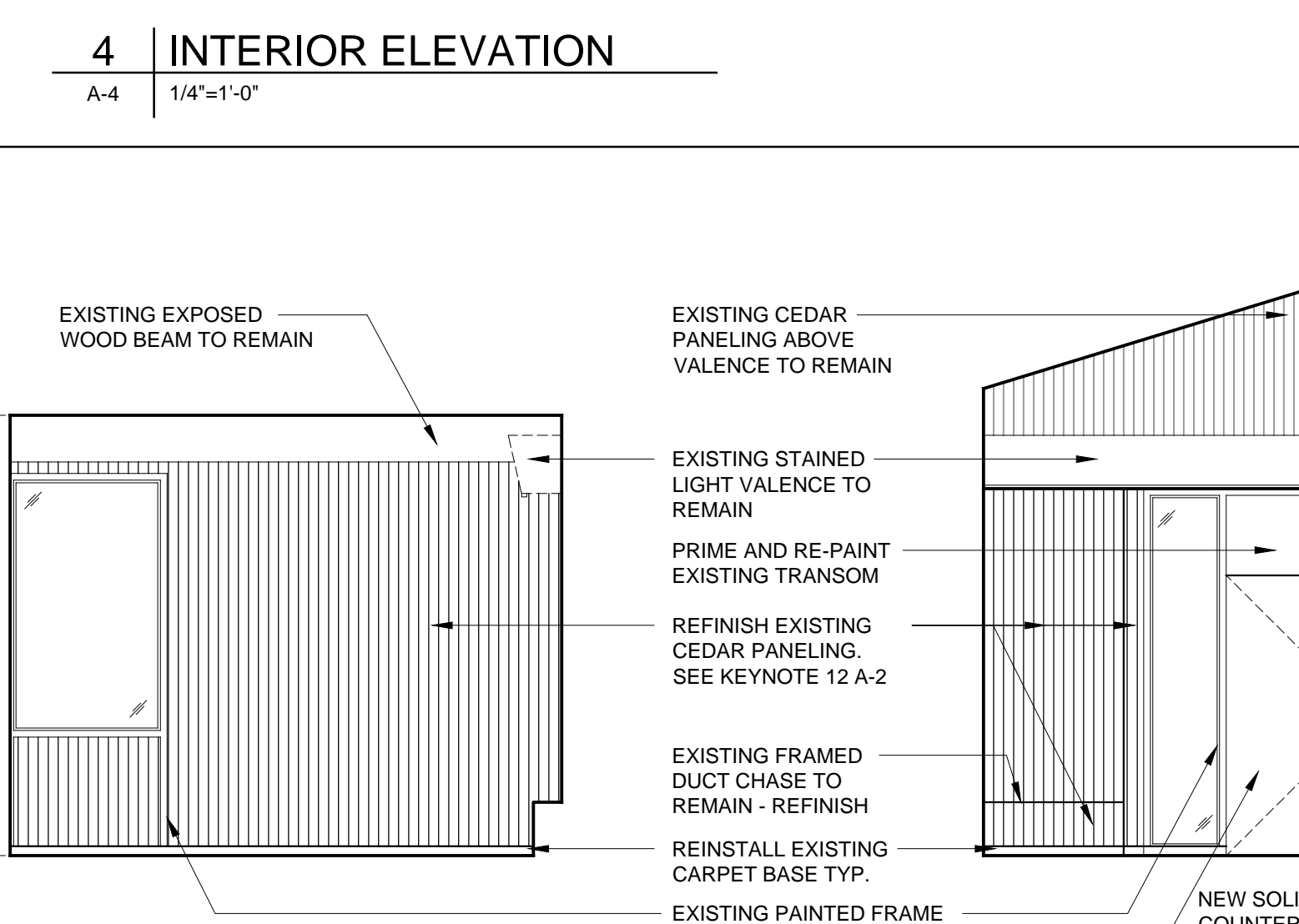
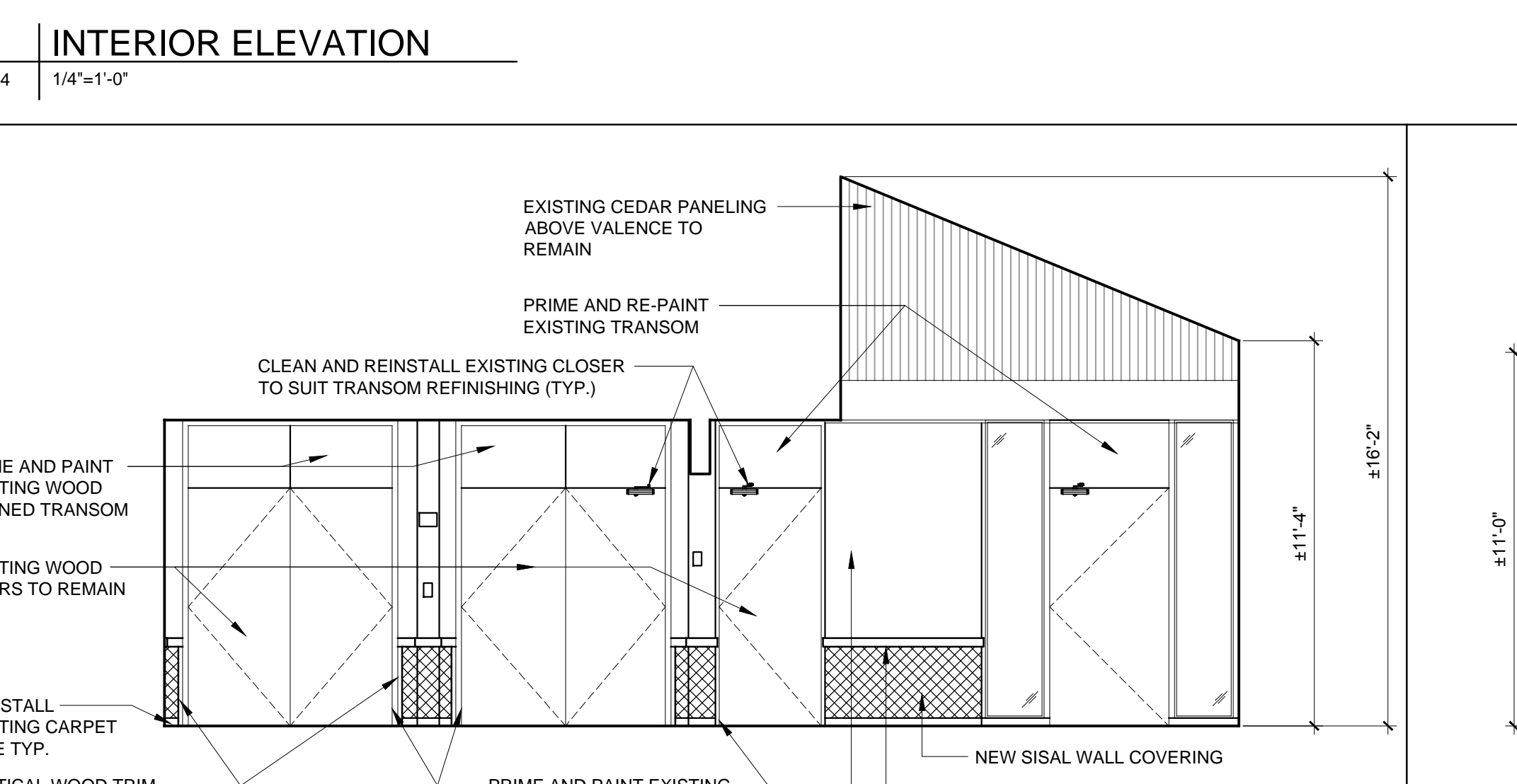
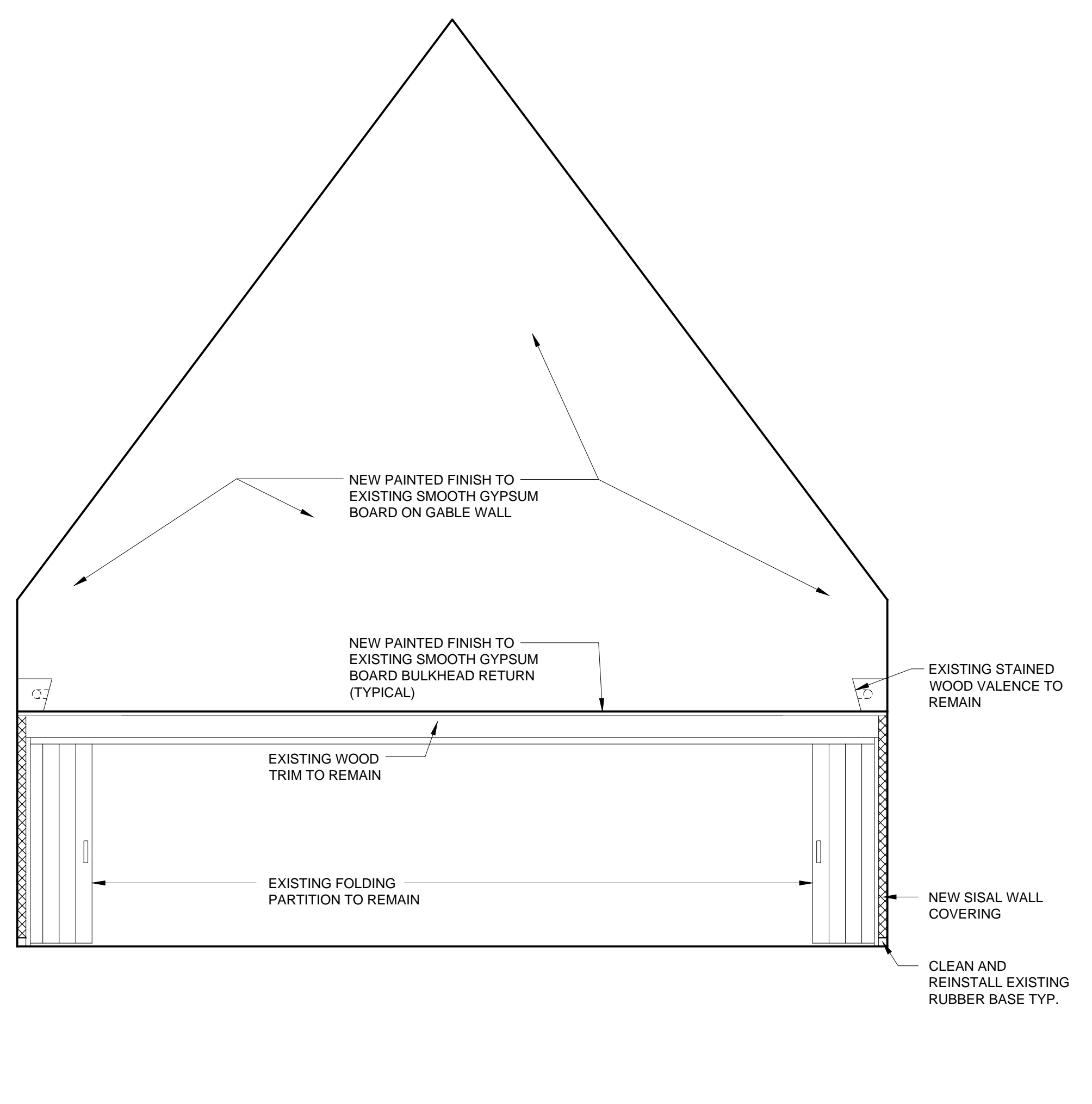
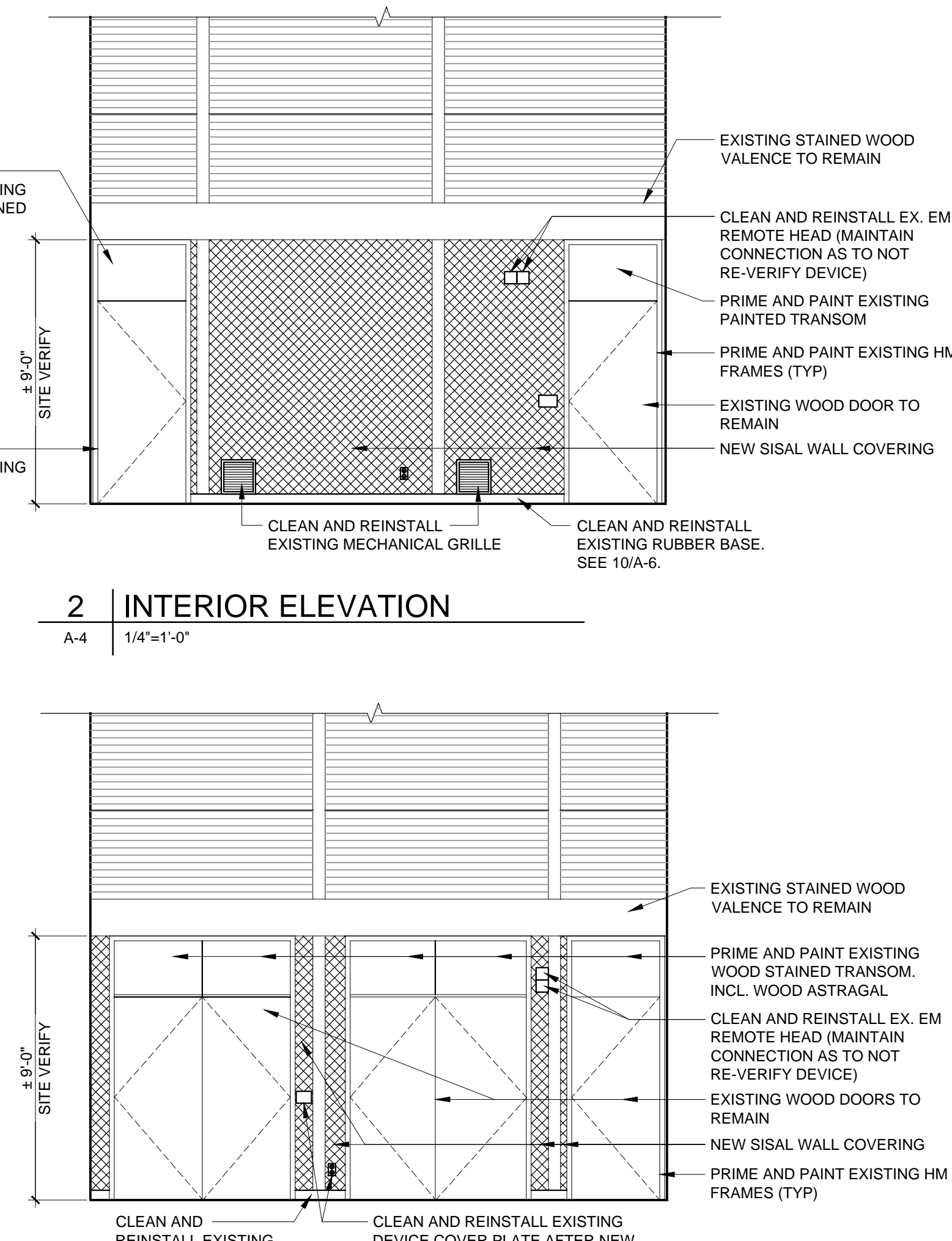
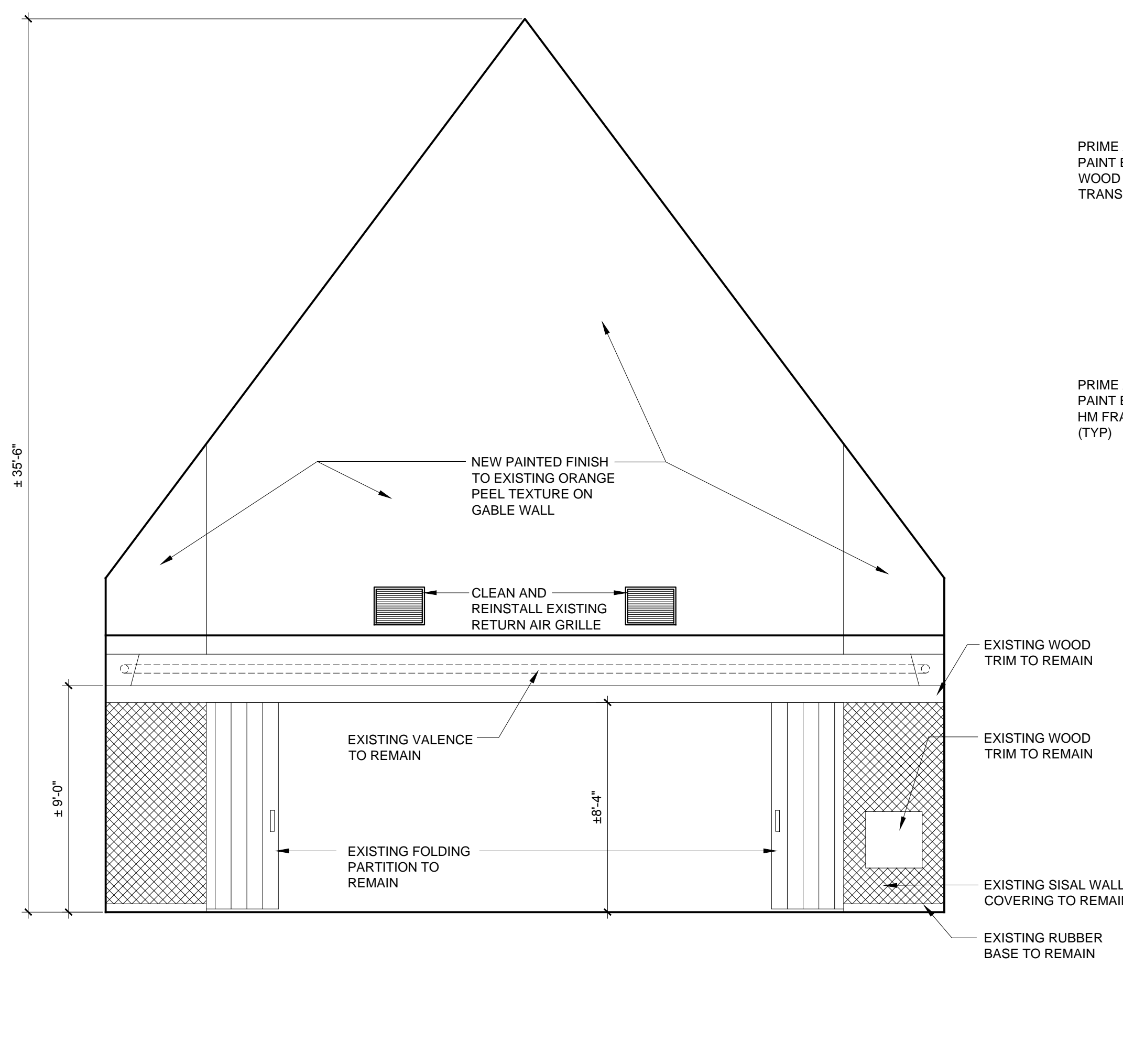
REVIEWED:

BY:

NJH

JNL

**A-4**





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NOTES:

FACTION ARCHITECTURE INC. PROJ. NO.: 21105

SEAL:

SEAL:

ISSUED FOR:		
NO.	DATE	DESCRIPTION

CONSULTANTS:

PROJECT FOR:

**THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS**

PROJECT NAME:

**BANFF**

CALGARY ALBERTA  
WEST STAKE

PARTIAL INTERIOR  
RENOVATION

PROJECT ADDRESS:

499 COUGAR STREET  
BANFF, ALBERTA

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**INTERIOR  
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503-5511

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1/4"=1'-0"

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AUGUST 2021

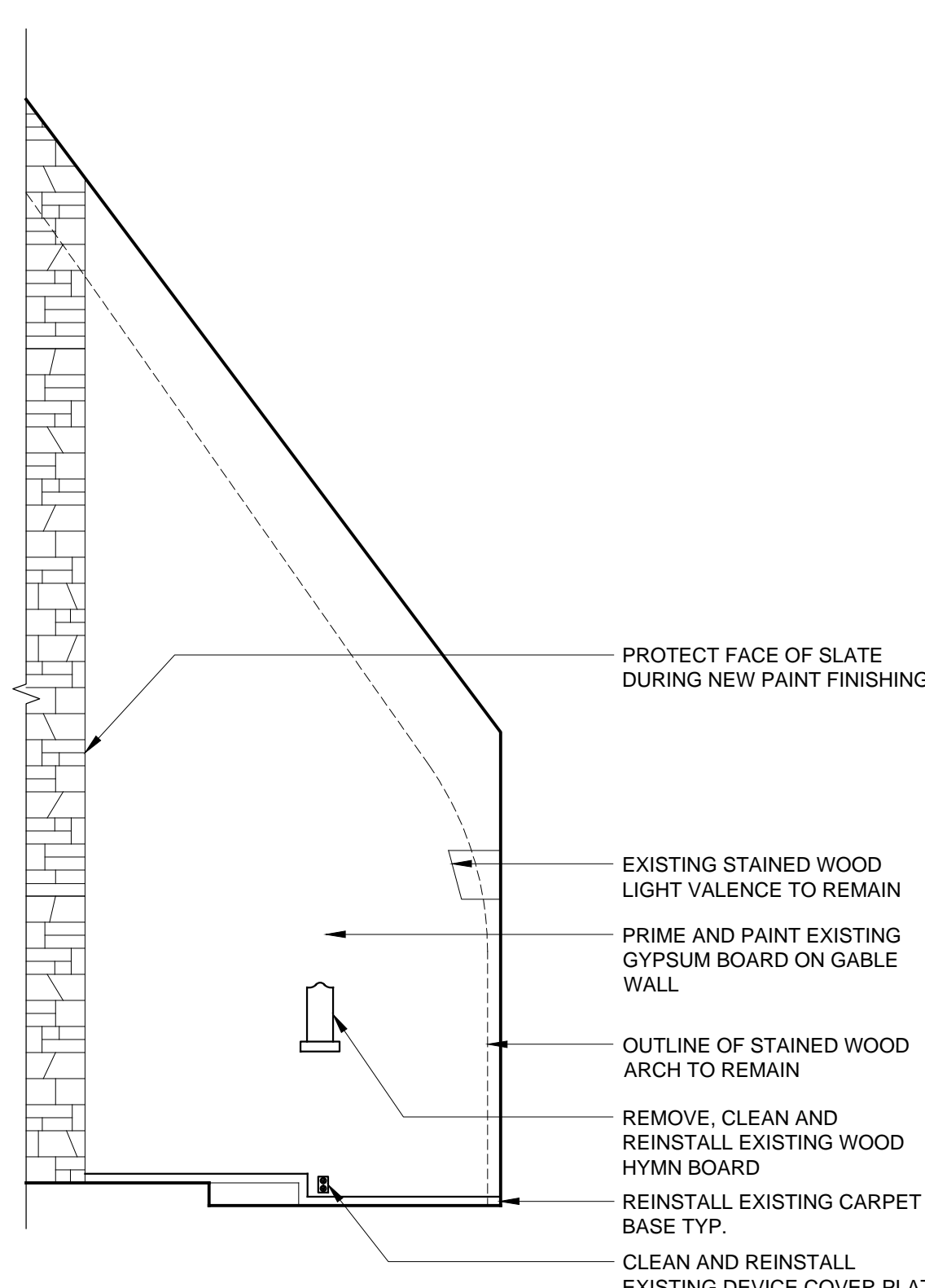
REVIEWED:

NJH

BY:

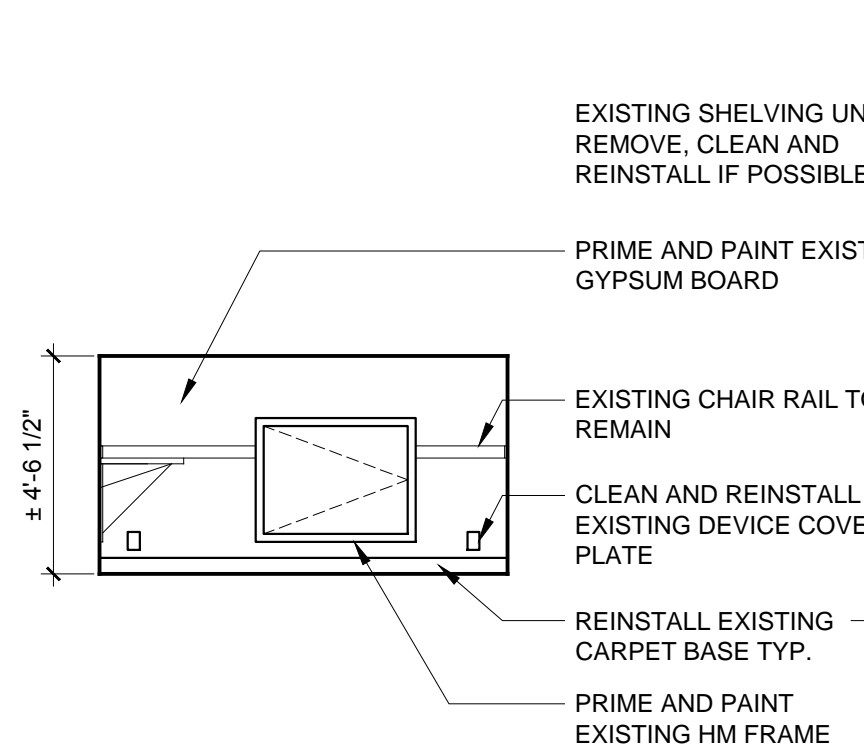
JNL

**A-5**



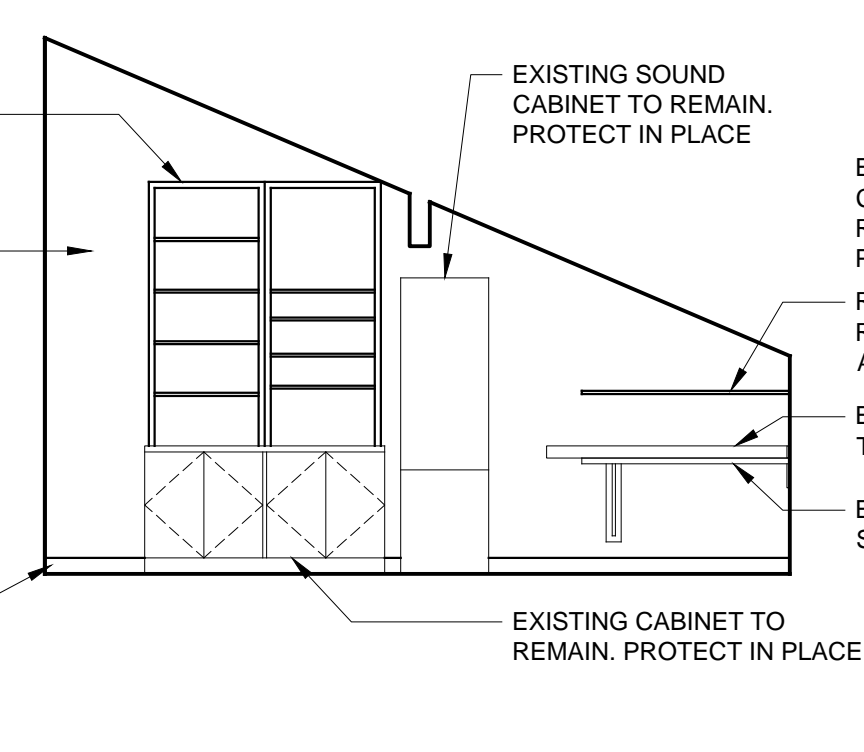
**1 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



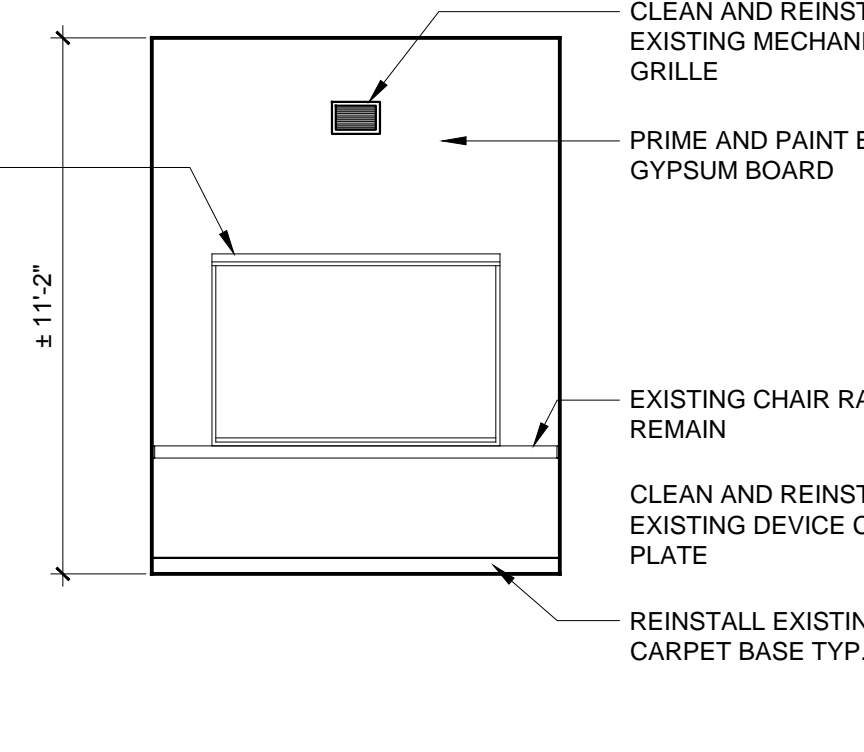
**2 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



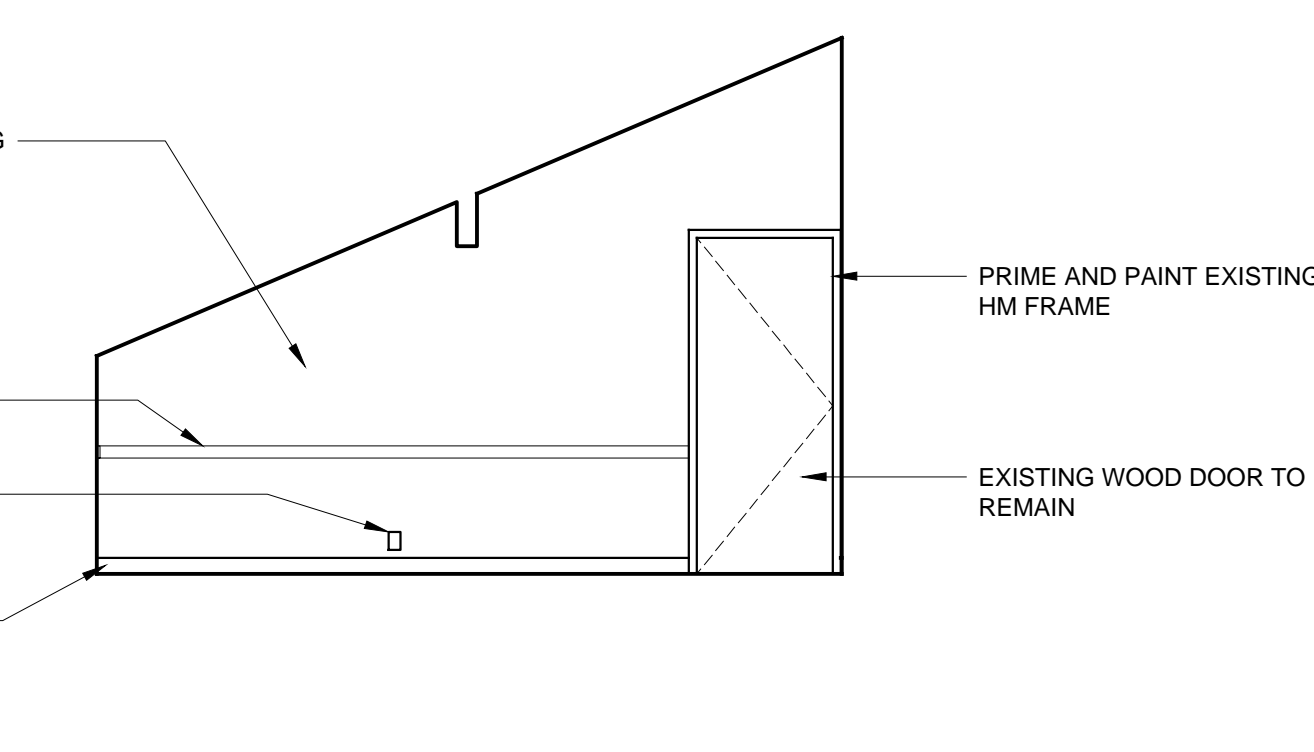
**3 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



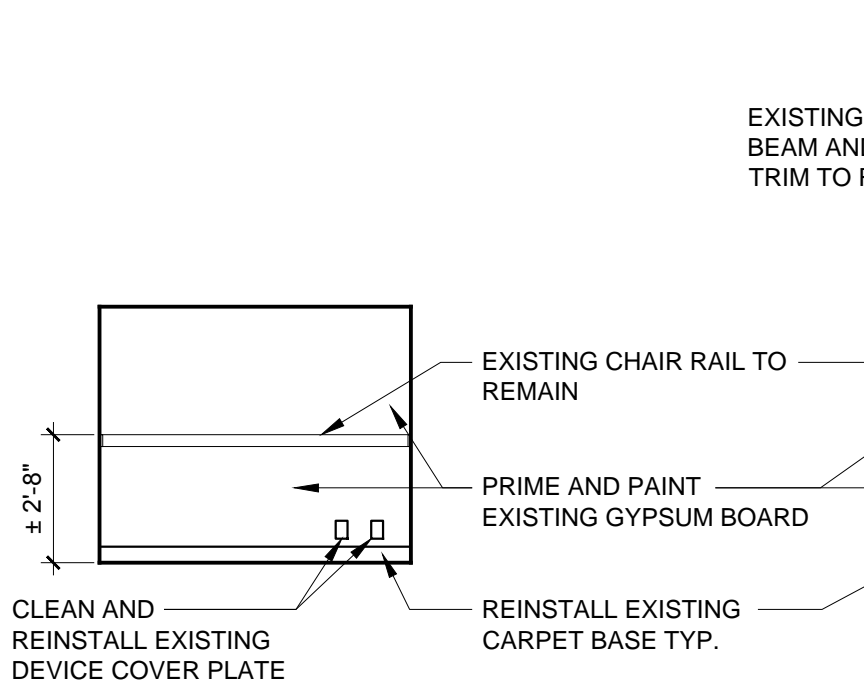
**4 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



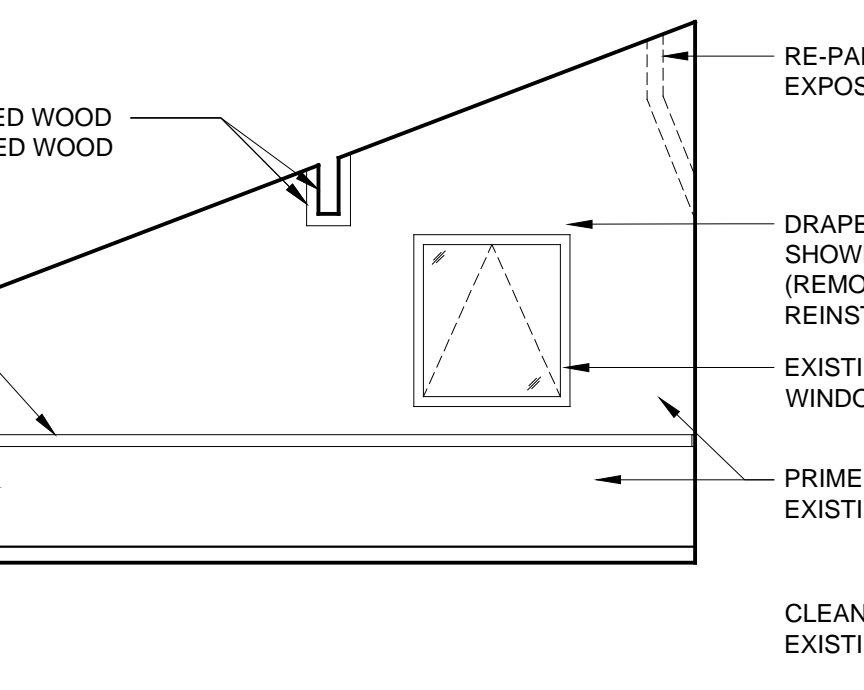
**5 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



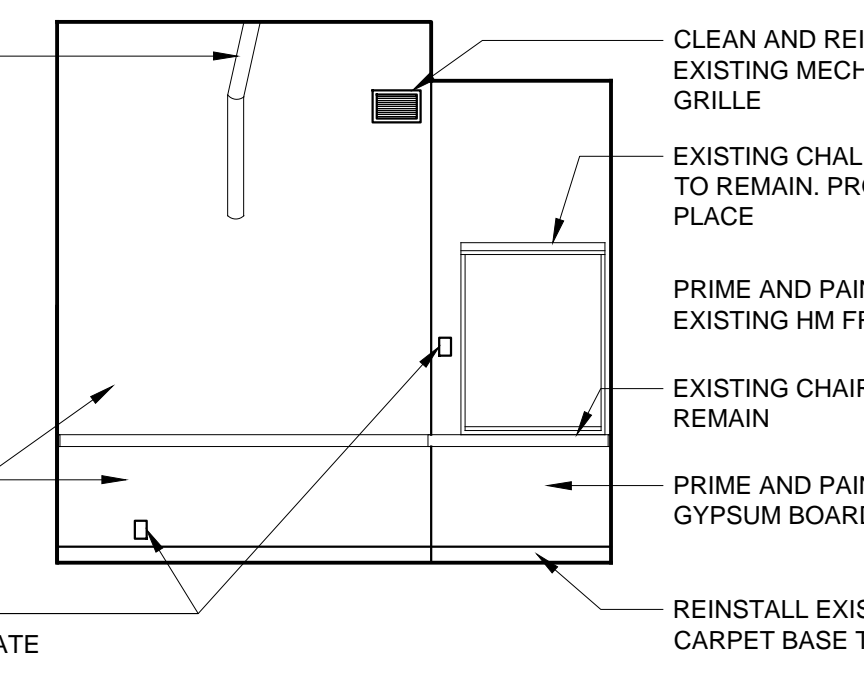
**6 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



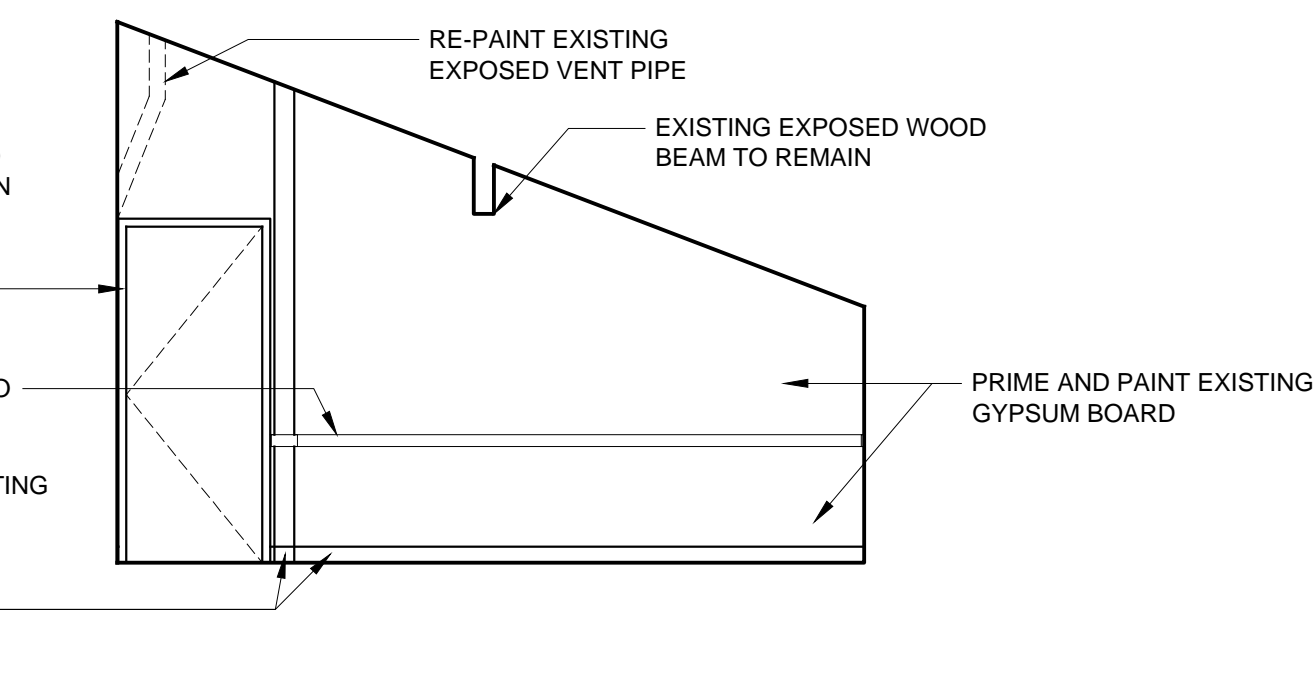
**7 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



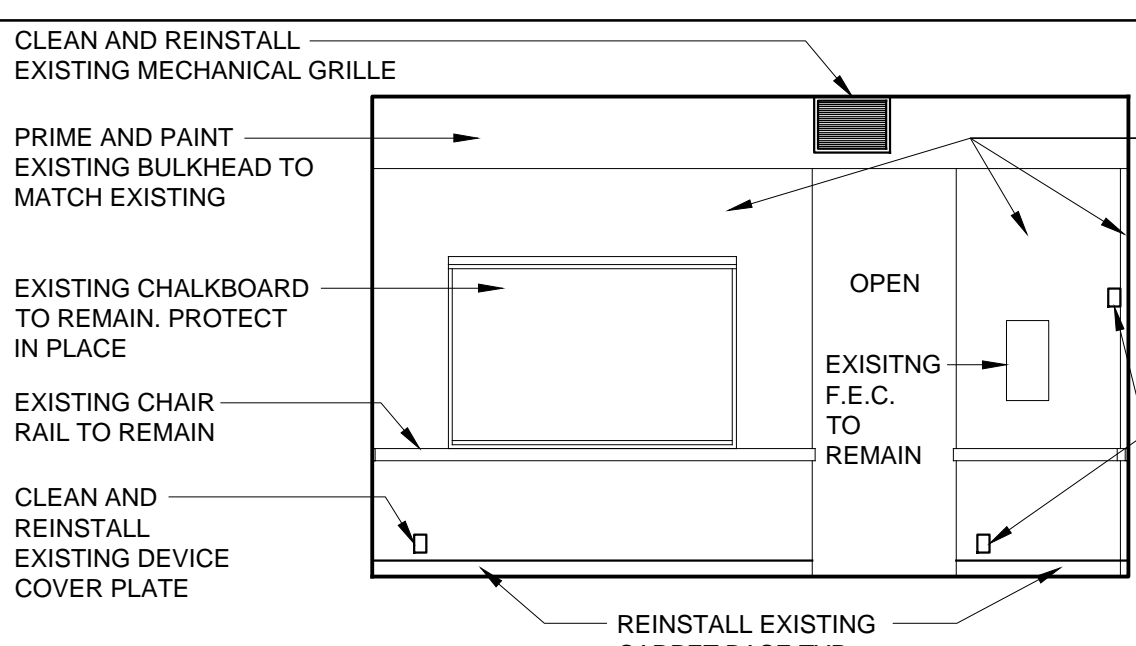
**8 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



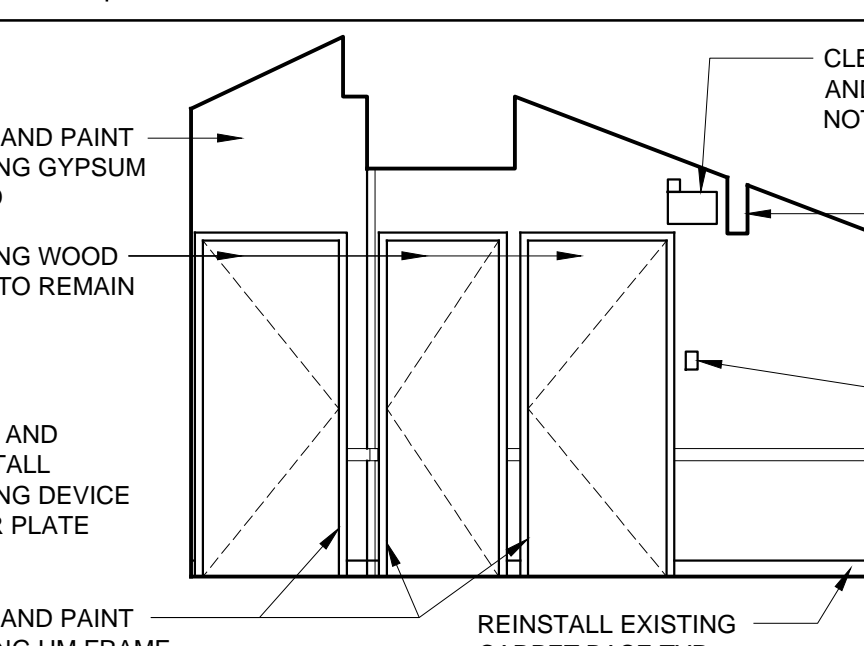
**9 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



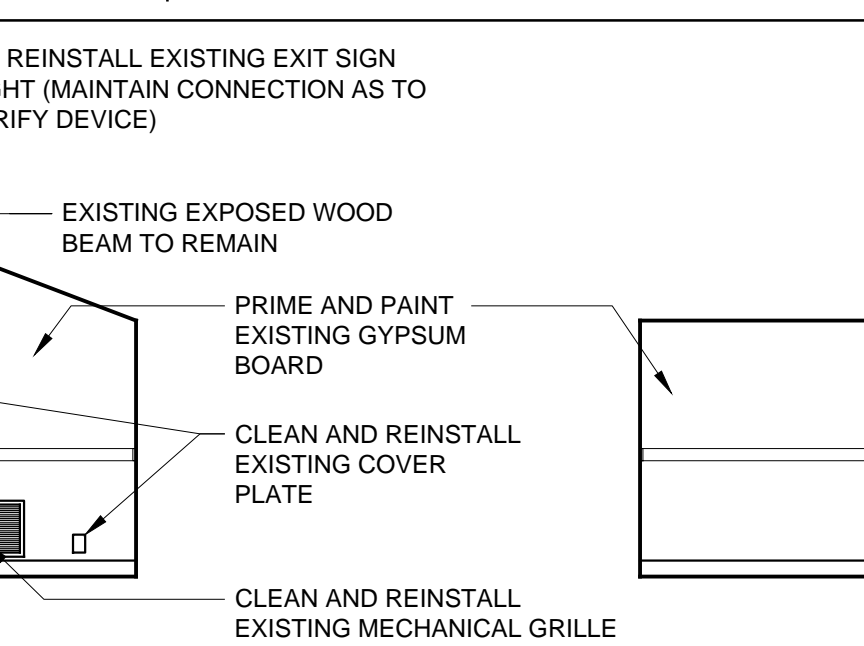
**10 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



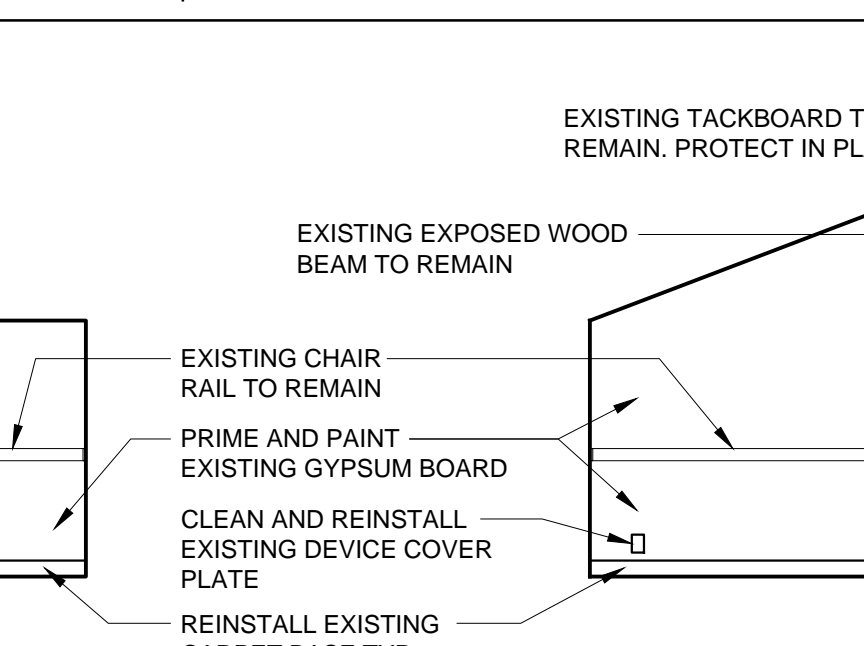
**11 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



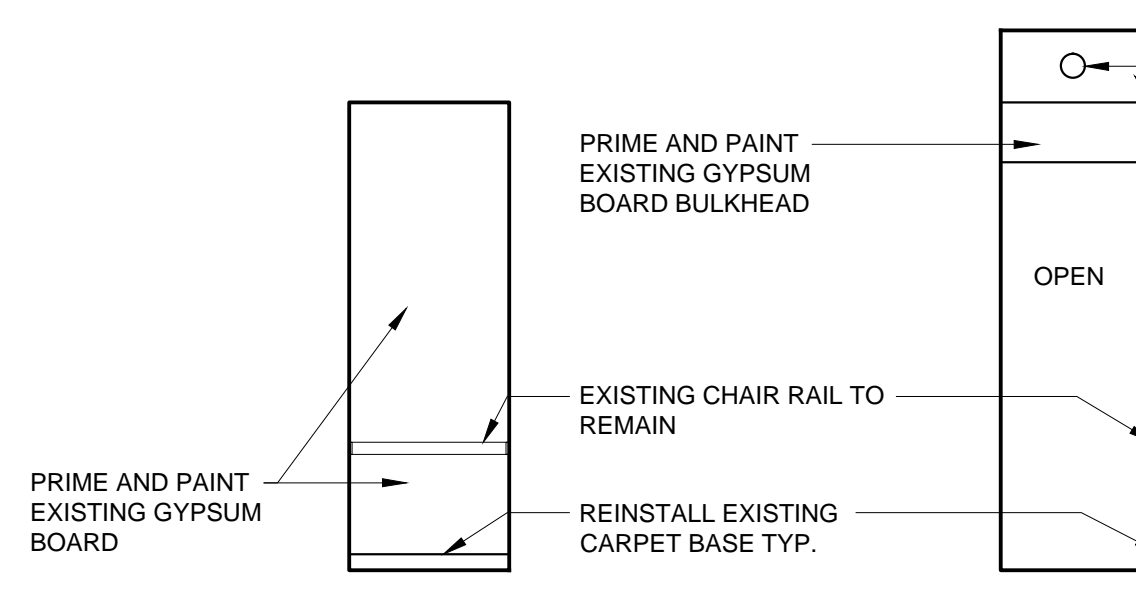
**12 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



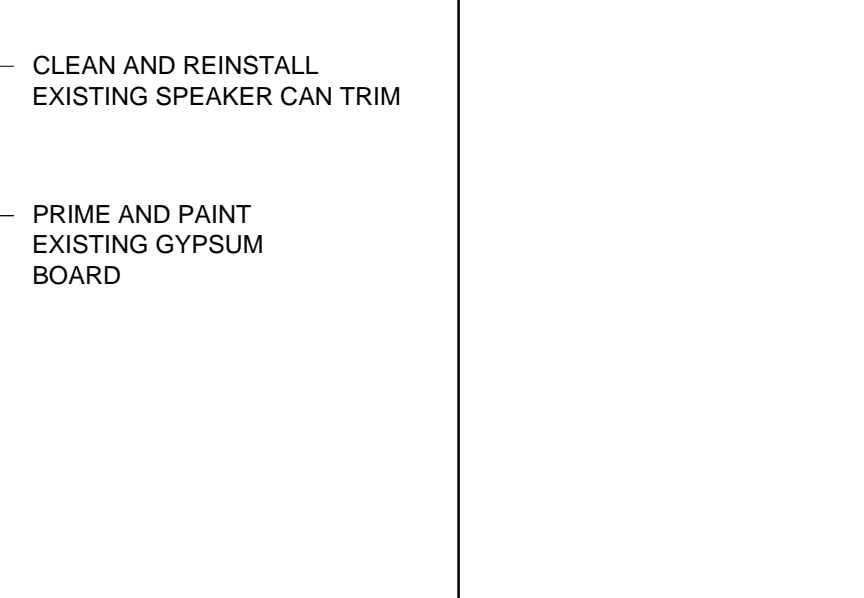
**13 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



**14 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



**15 | INTERIOR ELEVATION**

A-5 | 1/4"=1'-0"



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NOTES:

FACTION ARCHITECTURE INC. PROJ. NO.: 21105

SEAL:

SEAL:

ISSUED FOR:	NO.	DATE	DESCRIPTION

CONSULTANTS:

PROJECT FOR:

**THE CHURCH OF  
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PARTIAL INTERIOR  
RENOVATION

PROJECT ADDRESS:

499 COUGAR STREET  
BANFF, ALBERTA

DRAWING DESCRIPTION:

**DETAILS**

PROJECT DESIGNATION:  
503-5511-2102-0101

WORK ORDER NO.:

DRAWING NO.:

PROPERTY NO.:

503-5511

PROJECT TYPE.:

PLOT SCALE:

**A-6**

DATE ISSUED:

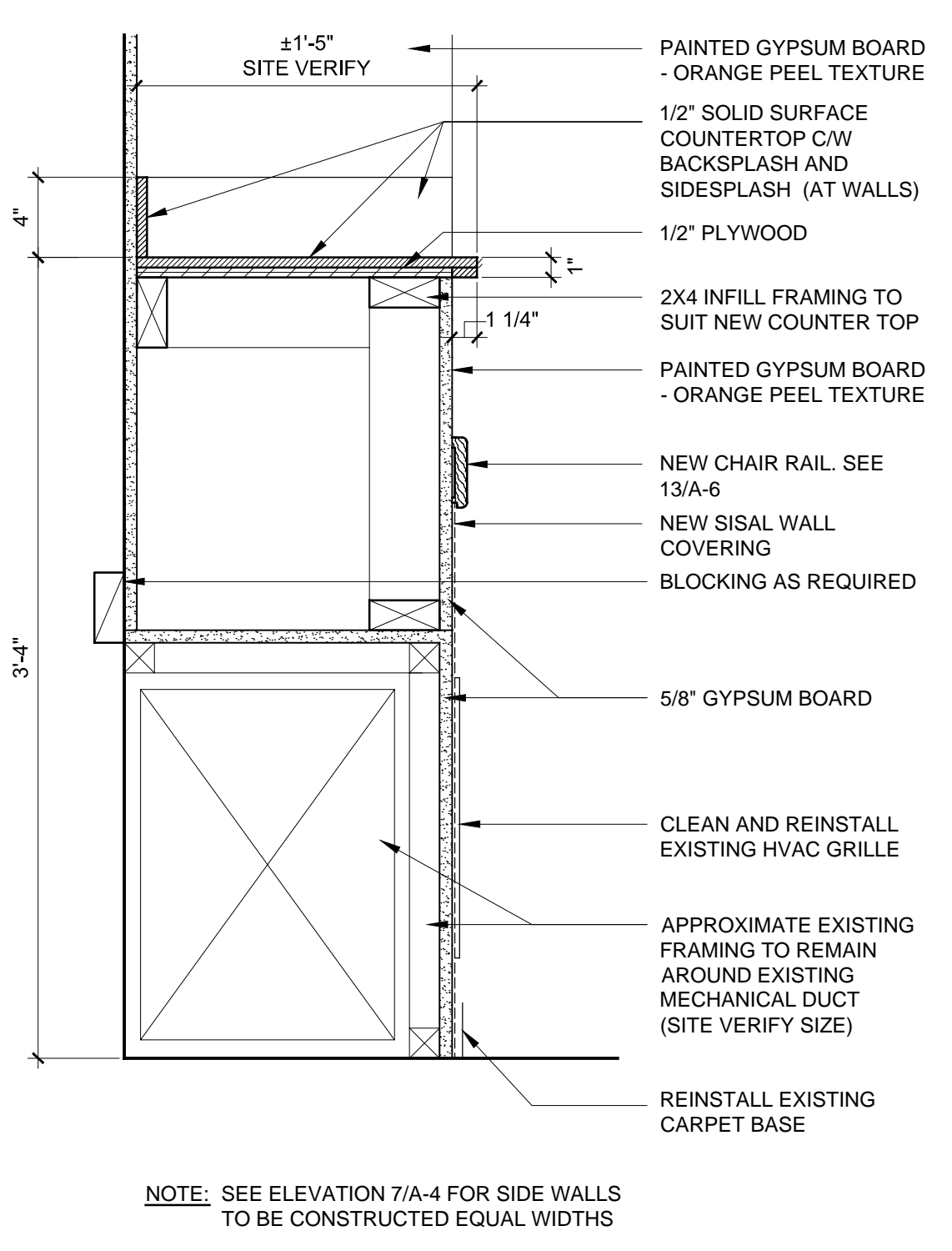
AUGUST 2021

REVIEWED:

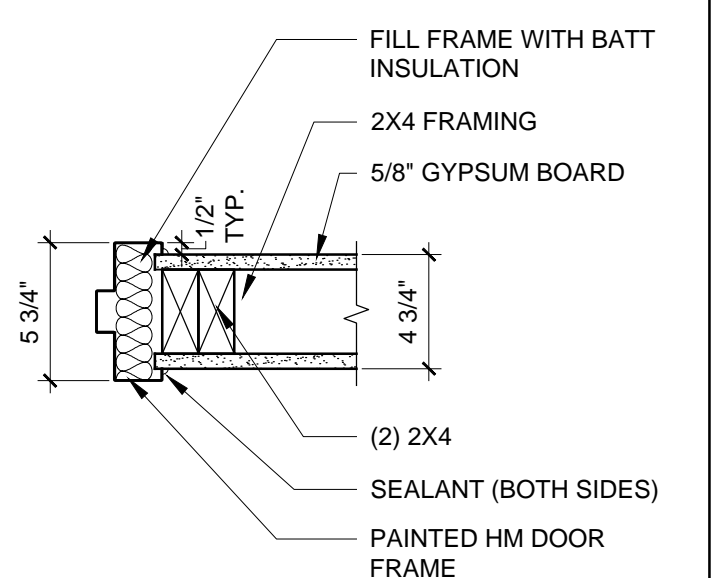
BY:

NJH

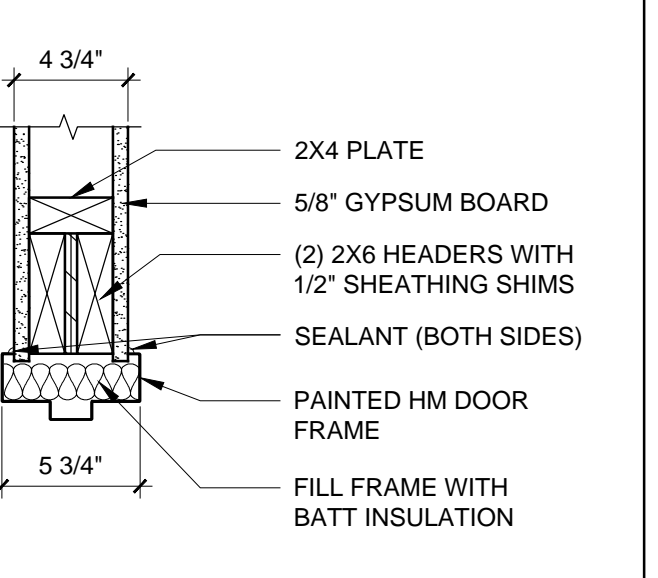
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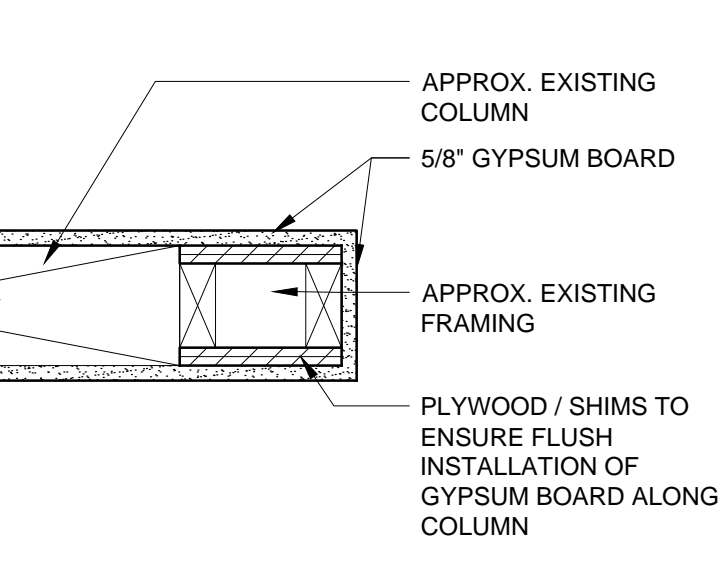
**1 | COUNTER SECTION**  
A-6 | 1 1/2"=1'-0"



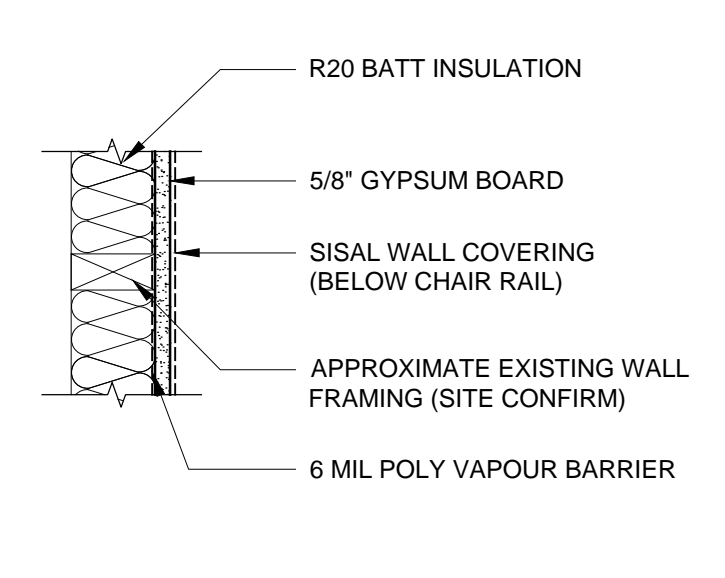
**2 | DOOR JAMB**  
A-6 | 1 1/2"=1'-0"



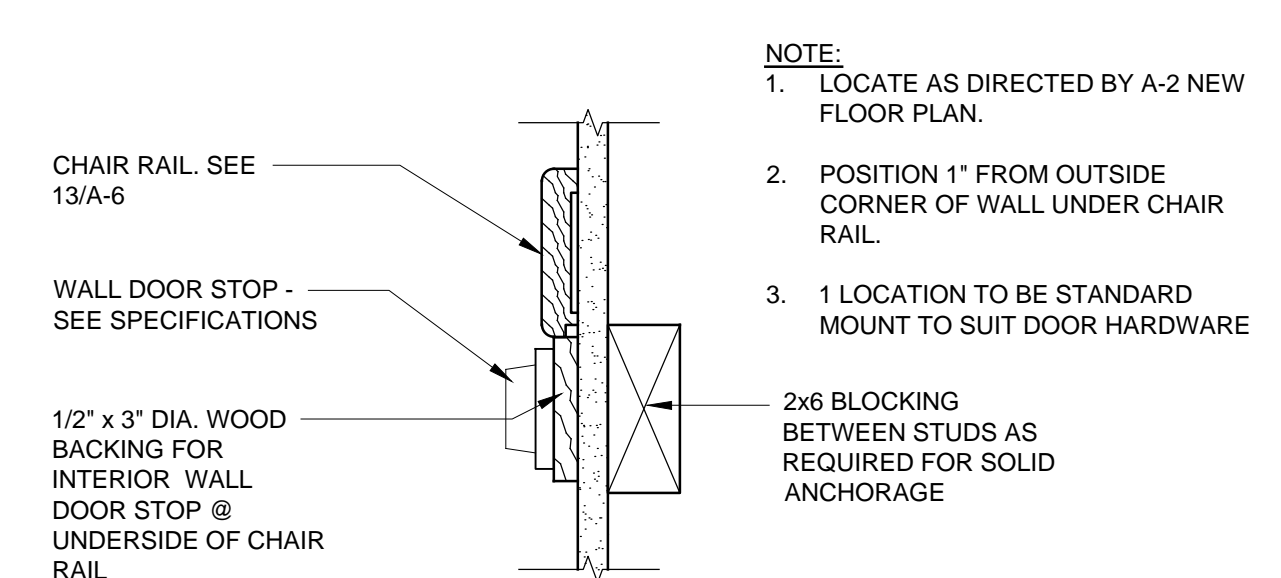
**3 | DOOR HEAD**  
A-6 | 1 1/2"=1'-0"



**4 | WALL SECTION AT COLUMN**  
A-6 | 1 1/2"=1'-0"

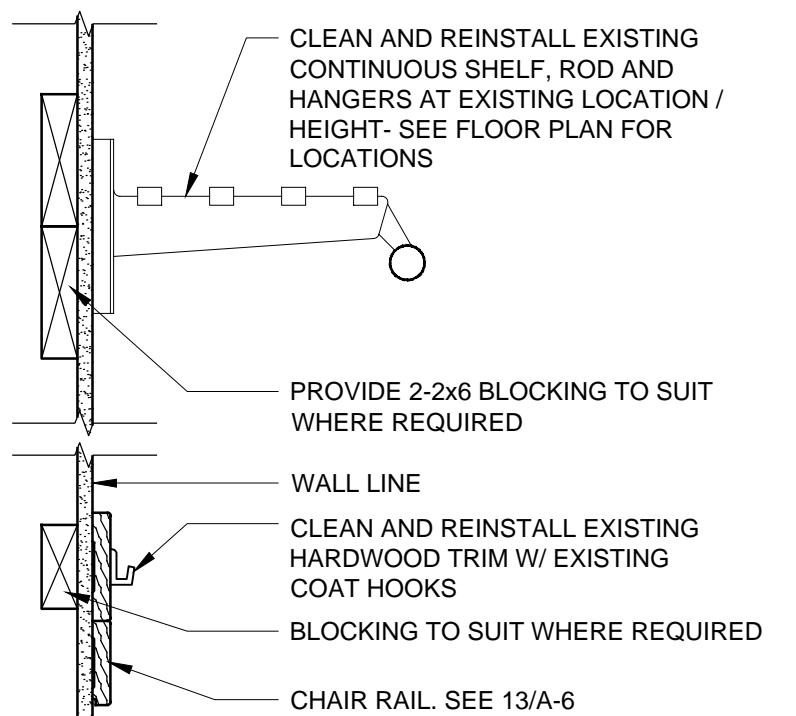


**5 | EXTERIOR WALL DETAIL**  
A-6 | 1 1/2"=1'-0"

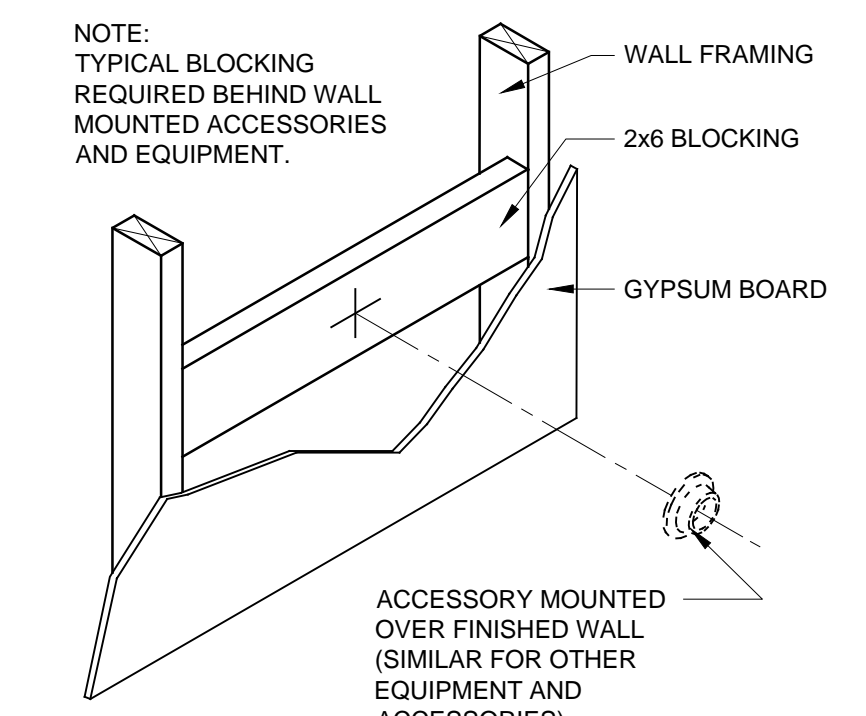


**6 | DOOR STOP DETAIL**  
A-6 | 3"=1'-0"

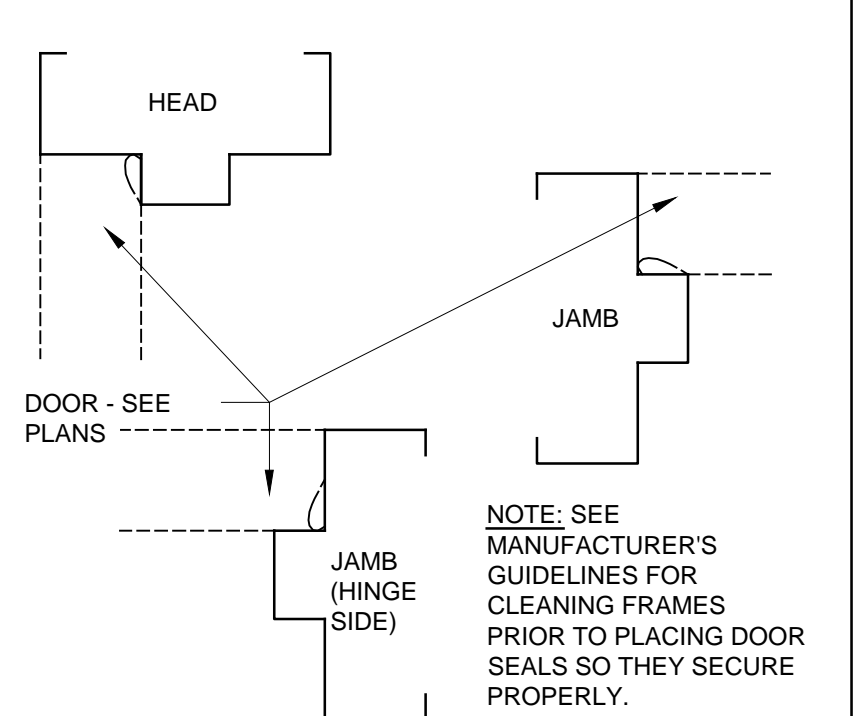
- NOTE:  
1. LOCATE AS DIRECTED BY A-2 NEW FLOOR PLAN.  
2. POSITION 1" FROM OUTSIDE CORNER OF WALL UNDER CHAIR RAIL.  
3. 1 LOCATION TO BE STANDARD MOUNT TO SUIT DOOR HARDWARE



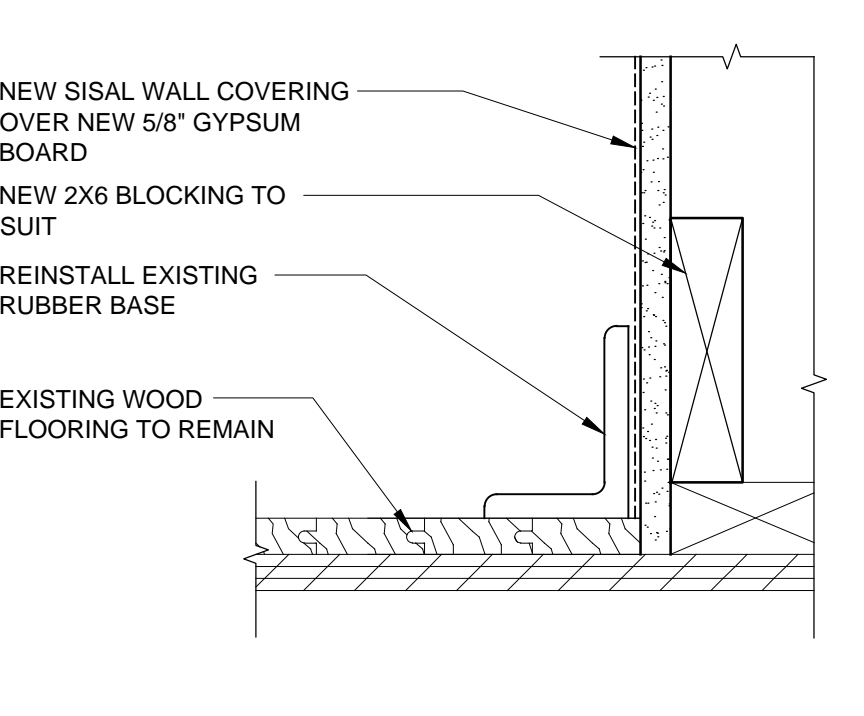
**7 | COAT ROD, SHELF, AND HOOK DETAIL**  
A-6 | 1 1/2"=1'-0"



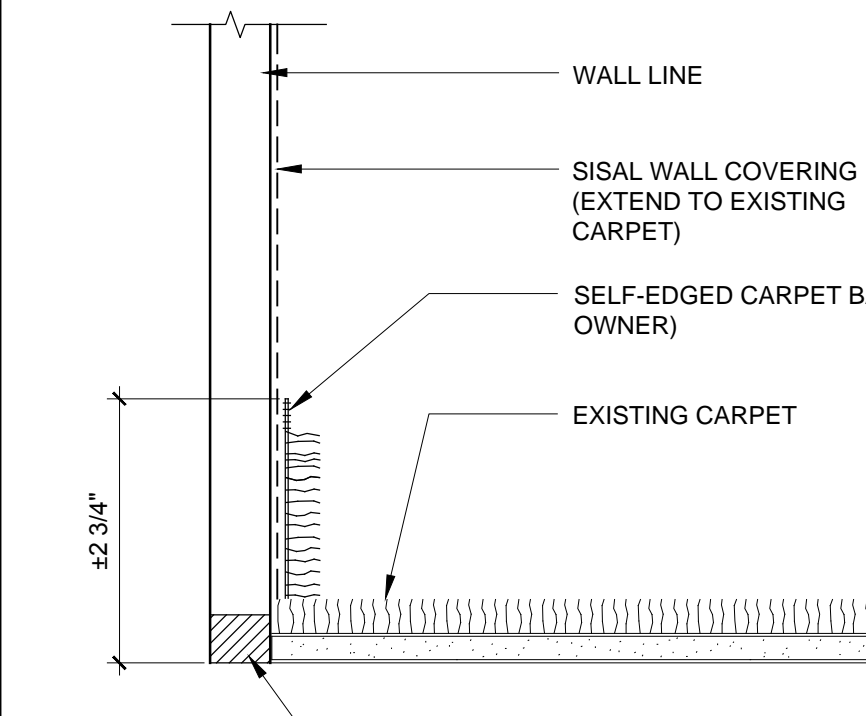
**8 | ACCESSORY MOUNTING DETAIL**  
A-6 | 1 1/2"=1'-0"



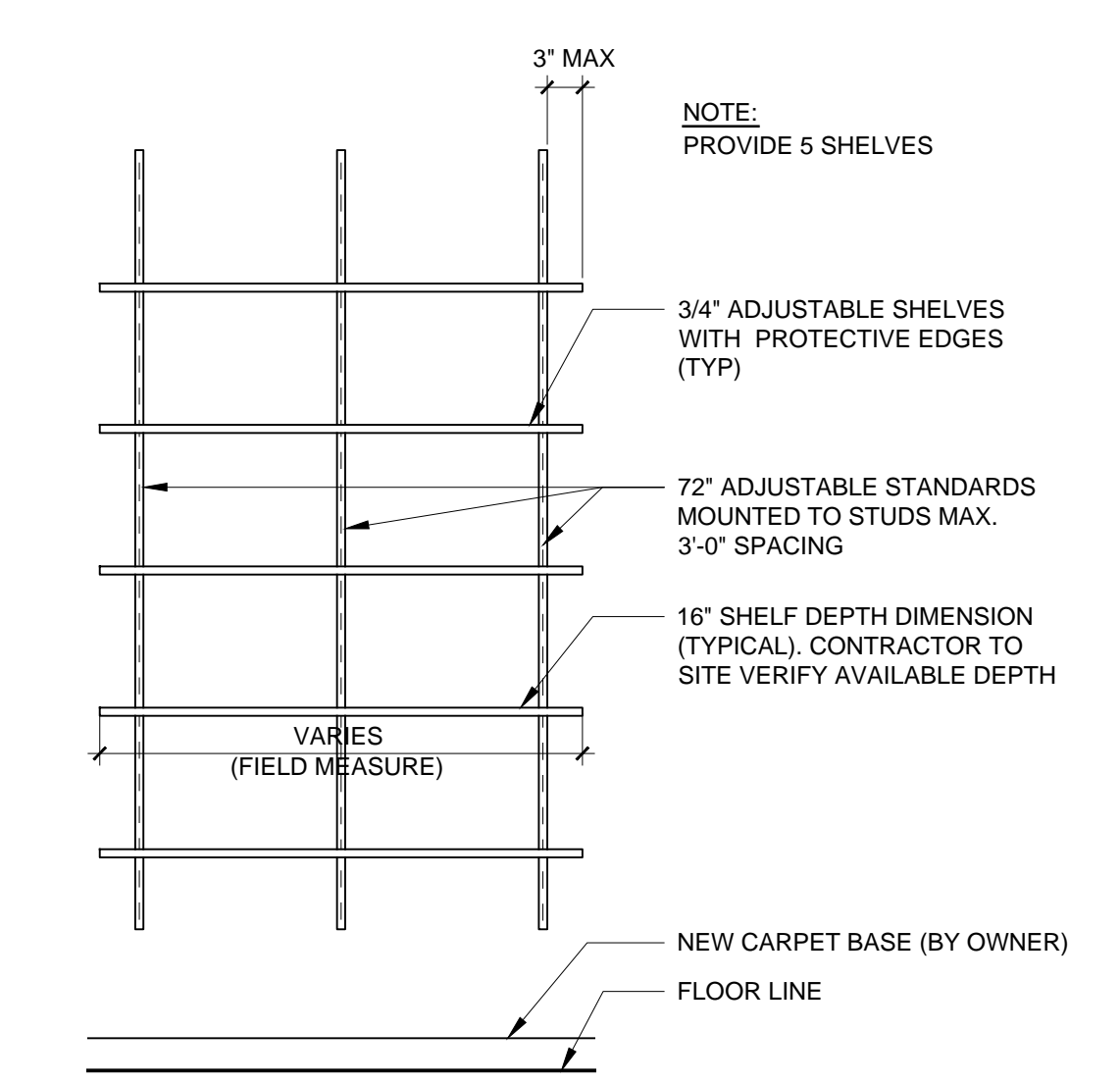
**9 | DOOR SEAL INSTALL**  
A-6 | 1 1/2"=1'-0"



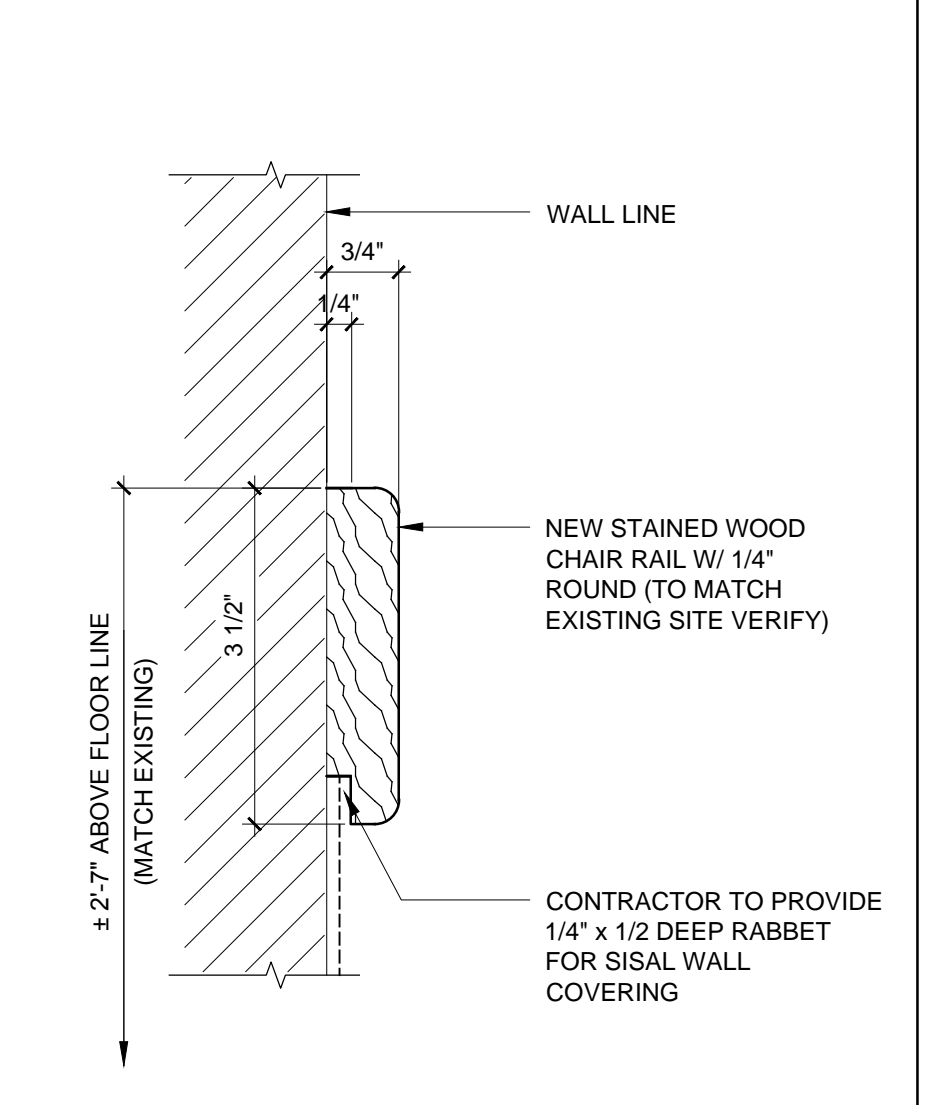
**10 | RUBBER BASE DETAIL**  
A-6 | 3"=1'-0"



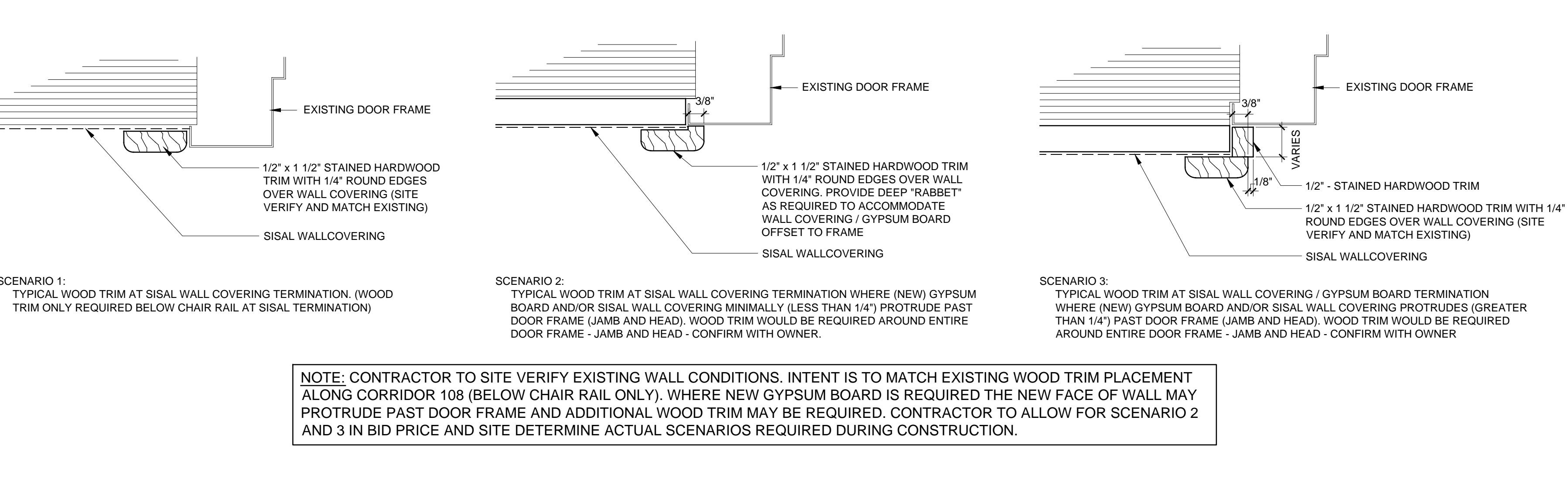
**11 | CARPET BASE DETAIL**  
A-6 | 6"=1'-0"



**12 | ELEVATION**  
A-6 | 3/4"=1'-0"

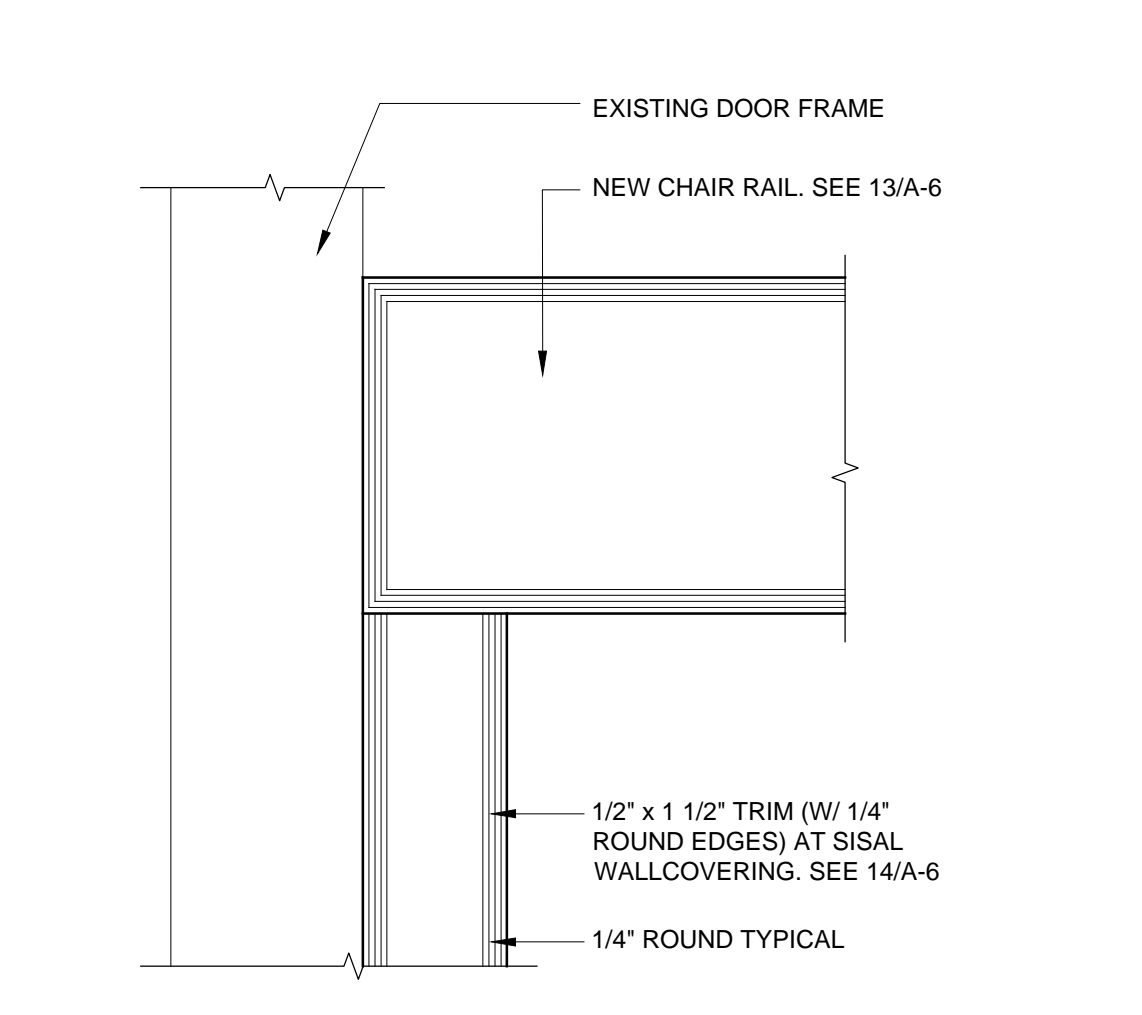


**13 | CHAIR RAIL DETAIL**  
A-6 | 6"=1'-0"

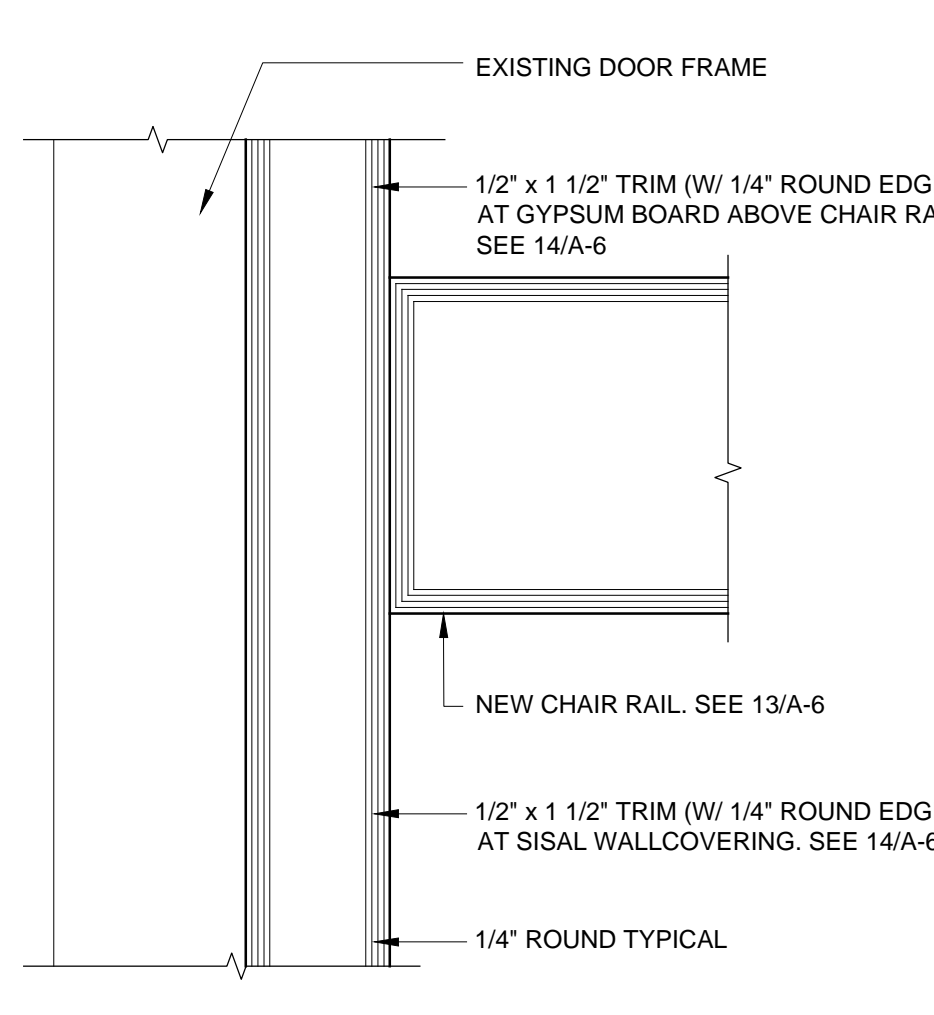


**14 | WOOD TRIM DETAIL**  
A-6 | 6"=1'-0"

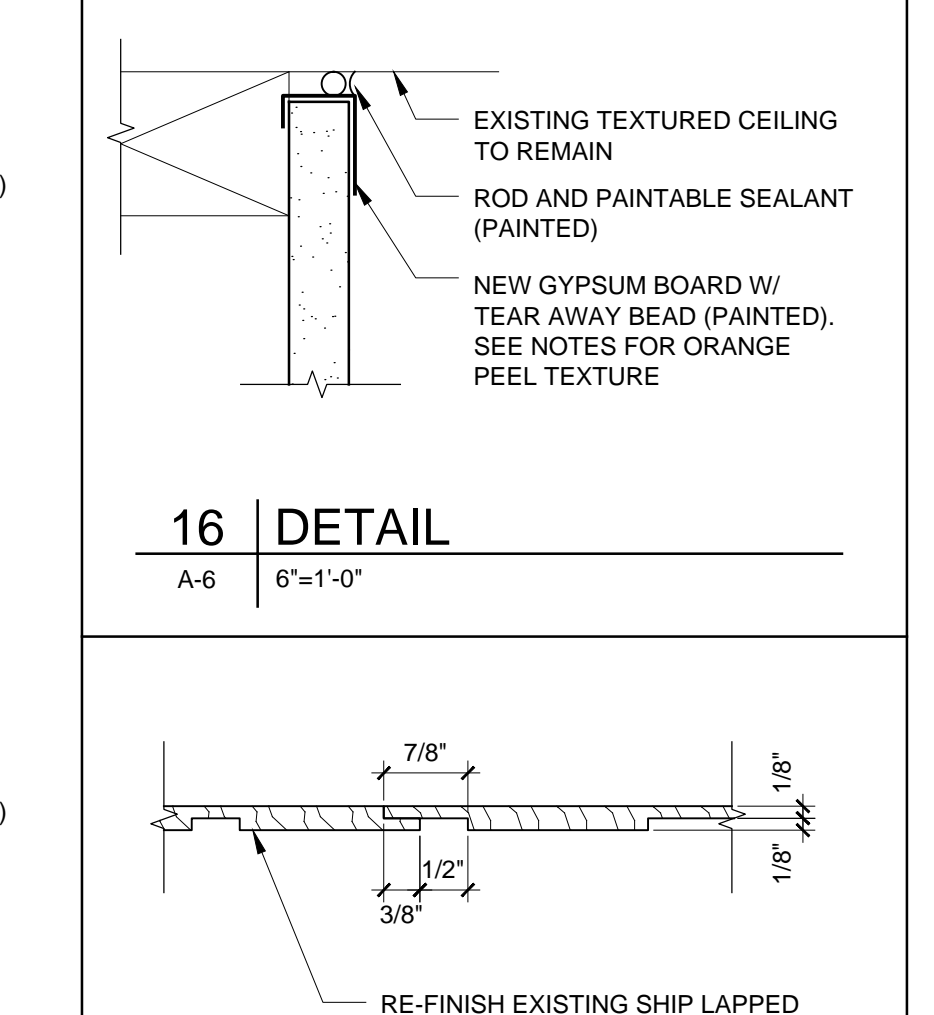
NOTE: CONTRACTOR TO SITE VERIFY EXISTING WALL CONDITIONS. INTENT IS TO MATCH EXISTING WOOD TRIM PLACEMENT ALONG CORRIDOR 108 (BELOW CHAIR RAIL ONLY). WHERE NEW GYPSUM BOARD IS REQUIRED THE NEW FACE OF WALL MAY PROTRUDE PAST DOOR FRAME AND ADDITIONAL WOOD TRIM MAY BE REQUIRED. CONTRACTOR TO ALLOW FOR SCENARIO 2 AND 3 IN BID PRICE AND SITE DETERMINE ACTUAL SCENARIOS REQUIRED DURING CONSTRUCTION.



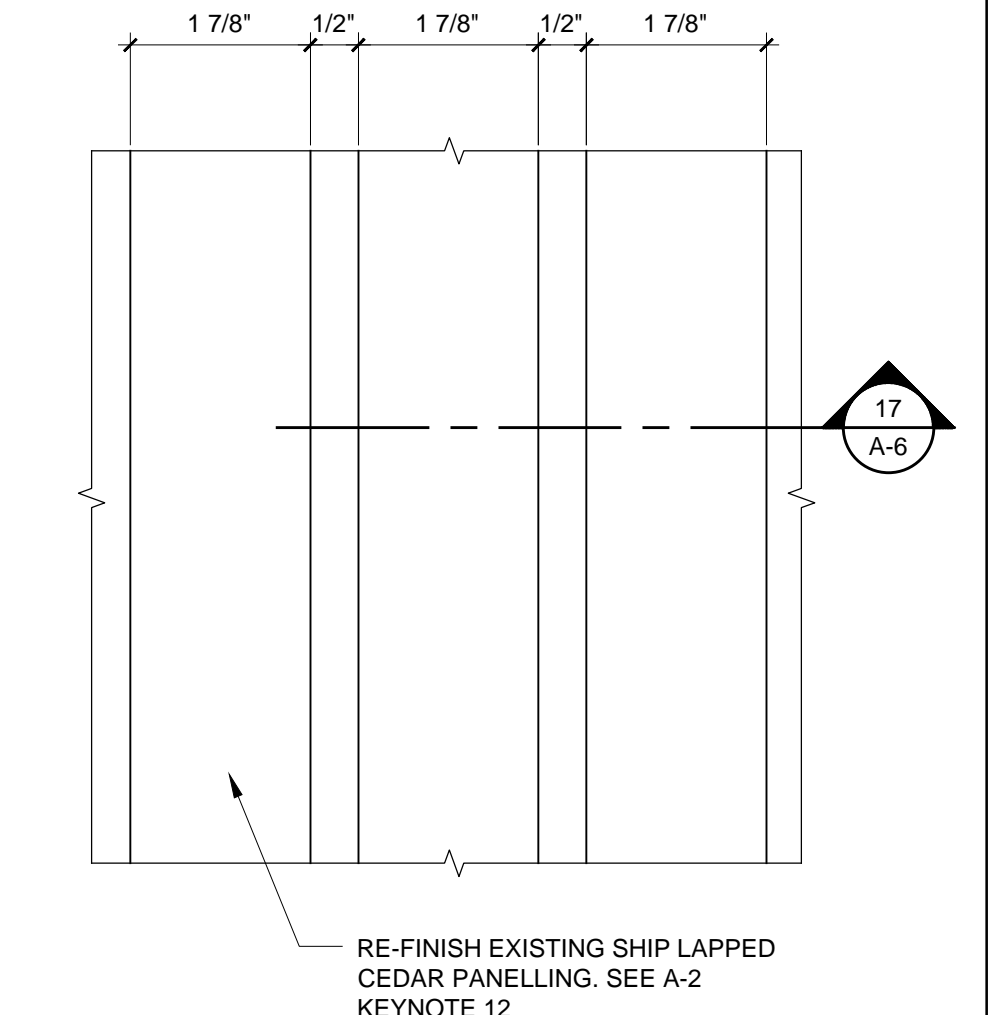
**15 | TRIM TERMINATION DETAIL - ELEVATION**  
A-6 | 6"=1'-0"



**16 | DETAIL**  
A-6 | 6"=1'-0"



**17 | EXISTING CEDAR PANELLING - SECTION**  
A-6 | 6"=1'-0"



**18 | EXISTING CEDAR PANELLING - ELEVATION**  
A-6 | 6"=1'-0"

SCENARIO 1:  
TYPICAL WOOD TRIM AT SISAL WALL COVERING TERMINATION. (WOOD TRIM ONLY REQUIRED BELOW CHAIR RAIL AT SISAL TERMINATION)

SCENARIO 2 / 3:  
WOOD TRIM AT SISAL WALL COVERING / GYPSUM BOARD TERMINATION WHERE (NEW) GYPSUM BOARD AND/OR SISAL WALLCOVERING PROTRUDES PAST DOOR FRAME (JAMB AND HEAD). WOOD TRIM WOULD BE REQUIRED AROUND ENTIRE DOOR FRAME - JAMB AND HEAD.